



## TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION

### ELECTRONIC MEETING

Wednesday, April 7, 2021 6:00p.m.

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#### **PUBLIC COMMENT**

Public comments will be received via conference line provided by Staff. All requests for public hearing or public comment will be accepted up to two (2) hours prior to the scheduled meeting start time.

This meeting can be viewed on the Town of Bluffton's Facebook page  
<https://www.facebook.com/TownBlufftonSC/>

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. NOTICE REGARDING ADJOURNMENT**

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

**IV. NOTICE REGARDING PUBLIC COMMENTS\***

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. **COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

**V. ADOPTION OF AGENDA**

**VI. ADOPTION OF MINUTES – March 3, 2021**

**VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA\***

**VIII. OLD BUSINESS**

**IX. NEW BUSINESS**

**A. Certificate of Appropriateness:** A request by Sawyer Graham and Preston Glover, on behalf of the owners on behalf of the owner,

William Glover, for approval of a Certificate of Appropriateness to the construction of a new one and a half-story single-family structure of approximately 2,604 SF and a Carriage House of approximately 880 SF located at 7 Pearl Street, Lot 20 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-02-21-014972) (Staff-Katie Peterson)

**X. DISCUSSION**

No discussion.

**XI. ADJOURNMENT**

**NEXT MEETING DATE– Wednesday, May 5, 2021**

\* Public Comments may be submitted electronically via the Town's website at (<https://bit.ly/TOBPublicComment> ) or by emailing your comments to the Growth Management Coordinator at [dmclain@townofbluffton.com](mailto:dmclain@townofbluffton.com). Comments will be accepted up to 2 hours prior to the scheduled meeting start time. All comments will be read aloud for the record and will be provided to the Historic Preservation Committee.

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities.

*EXECUTIVE SESSION - The public body may vote to go into executive session for any item identified for action on the agenda.*

Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.

**TOWN OF BLUFFTON HISTORIC PRESERVATION COMMISSION**  
**Electronic Meeting**

**Wednesday, March 3, 2021, Minutes**

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**Present:** Bruce Trimbur - Chair; Elaine Gallagher Adams- Vice Chair; Michael Lovecchio; Jesse Solomon; Mary Vaux Bell; and Kerri Schmelter

**Staff:** Katie Peterson, Senior Planner; Charlotte Moore, Principal Planner; and, Darby McLain, Growth Management Coordinator

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**I. CALL TO ORDER**

Chairman Trimbur called the meeting to order at 6:04 p.m.

**II. ROLL CALL**

All members were present.

**III. NOTICE REGARDING ADJOURNMENT**

The Historic Preservation Commission will not hear new items after 9:30 P.M. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 P.M. may be continued to the next regular meeting or an additional meeting date as determined by the Commission members.

**IV. NOTICE REGARDING PUBLIC COMMENTS**

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to the Commission, Town Staff, and other members of the meeting. State your name and address when speaking for the record. **UNLESS OTHERWISE AMENDED BY THE HISTORIC PRESERVATION COMMISSION, COMMENTS ARE LIMITED TO THREE (3) MINUTES.**

**V. ADOPTION OF THE AGENDA**

Vice Chair Gallagher-Adams made a motion to adopt the agenda. Commissioner Schmelter seconded the motion. All were in favor and the motion passed.

**VI. ADOPTION OF MINUTES**

Commissioner Vaux-Bell made a motion to adopt the February 3, 2021 Minutes as presented with revision to the motion in items three. Vice Chair Gallagher-Adams seconded the motion. All were in favor the motion passed.

## **VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA**

There were no public comments.

## **VIII. OLD BUSINESS**

There was no old business.

## **IX. NEW BUSINESS**

- A. Certificate of Appropriateness: A request by Ansley Manuel, on behalf of the owner, Patricia Ellen Malphrus, for approval of owners, James Mitchell and Laurie Brown, for approval of a Certificate of Appropriateness to allow addition of approximately 1,034 SF to the existing single-family structure of approximately 1,546 SF located at 38 Lawrence Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-12-20-014812) (Staff- Katie Peterson)

Staff Katie Peterson presented the information to the Commission which is included in these minutes.

Vice Chair Gallagher-Adams motioned to approve the application with the following conditions:

1. Per Section 5.15.6.P., the Plywood in the Soffit must be revised to a permitted material.
2. Per Section 5.15.6.J., a gutter profile must be provided to ensure it is rectangle, square or half round in profile.
3. Per Section 5.15.5.E.8. and Traditional Construction Patterns, the proposed chimney should be revised to be bricked to match the existing, or the existing chimneys refaced to match the new proposed.
4. Per Section 5.15.6.G.1.a. the exposed foundation shall be changed to Mixed Shell size tabby stucco.
5. Per Section 5.15.6.E., a chimney cap detail must be provided to ensure it is in keeping with masonry building technology.
6. The Commission determined that the first-floor finished height is appropriate to be below 3 feet from average adjacent sidewalk grade as it is an addition to an existing structure.
7. The Commission determined that the porch height is appropriate as submitted as it is an addition to an existing structure.

8. Per Section 3.22.2.A., a Town of Bluffton Tree Removal Permit must be obtained for any tree 14" (DBH) or greater on a single-family lot and proposed for removal.

Commissioner Vaux-Bell seconded the motion. All were in favor and the motion passed.

- B. Certificate of Appropriateness: A request by Court Atkins Architects, on behalf of the owner, Herkus, LLC, for approval of a Certificate of Appropriateness to allow the construction of a new 2 1/2 -story Mixed-Use building of approximately 5,272 heated square feet located at 10 Marianna Way, Building 5 in the Old Village Square development, in the Old Town Bluffton Historic District and zoned Neighborhood General – HD. (Staff-Katie Peterson)(COFA-01-21-014894)

Staff member Katie Peterson presented the information to the commission which is incorporated into these minutes.

Commissioner Solomon motioned to approve the application with the following conditions:

1. Per Section 5.15.6.A., The Commission found the use of false windows to be inappropriate.
2. Additional information on the configuration of the false windows on the rear elevation was unnecessary due to the windows being removed.
3. The Floor Plans or Elevations and Wall Section must be updated to reflect the partitions on the second-floor porch.
4. The Elevations or Wall Sections must be revised to reflect the same roofing material.
5. Per the Applications Manual, the Application must be signed by both the applicant and the owner.

Vice Chair Gallagher-Adams seconded the motion. All were in favor and the motion passed.

- C. Certificate of Appropriateness: A request by DH Abney Company, on behalf of the owners, Donna and James Brancato, for approval of a Certificate of Appropriateness to allow the construction of a 1.5-story single-family residential structure of approximately 2,373 SF and a 2-story Carriage House of approximately 1,093 SF located at 22 Stock Farm Road, Lot 34 in the Stock Farm Development in the Old Town Bluffton Historic

District, and zoned Neighborhood General-HD. (COFA-01-21-014894)  
(Staff- Katie Peterson)

Staff Katie Peterson presented the information to the commission which is incorporated into these minutes.

Commissioner Solomon motioned to approve the application with the following conditions:

1. Per the Applications Manual, the Site Plan must be updated to show the driveway location and configuration.
2. Per Section 5.3.3.C., the Carriage House shall be moved North to preserve the existing canopy from the 20" 12" split trunk Laurel Oak tree labeled on the Site Plan. An arborist report per Section 3.22.2. of the Unified Development Ordinance, by an arborist not removing the tree, must be provided in conjunction with the Tree Removal Plan showing the declined health of the tree and mitigation provided or the Carriage House location revised to avoid the root system of the existing tree. The Tree Removal Plan shall be review by the Historic Preservation Review Committee and approved at staff level.
3. Per Section 3.18., the raise deck and swim spa, must be removed from the Landscape Plan as not enough information was provided to complete the review.
4. Per Section 5.15.6.E.8., the chimney cap must be removed from all elevations to match Left Elevation. The chimney cap must be drawn on the plans and a detail provided to ensure it meets the requirements of section 5.15.6.E.8.
5. Per Section 5.15.6.H. the railing and balustrades must be revised to termite resistant wood, painted or natural wrought or cast iron.
6. Per Section 5.15.6.E.5. the porch height must be revised to be 30" minimum to top of stairs.
7. Per Section 5.15.5.F.1.c the first finished floor height must be raised to be a minimum of thee (3) feet above average adjacent sidewalk grade.
8. The Commission determined the use of a false window (closed shutter) was not appropriate and the window should be either a true window or removed and the siding continued to be in compliance with Section 5.15.6.
9. Per Section 5.15.6.A. and 5.15.6.M., the shutters must be revised to be a durable wood material or additional information on the composite

proposed to ensure the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials.

10. Per Section 5.15.6.M., a shutter dog profile must be provided for review.
11. Per Section 5.15.6.J., a gutter profile must be provided to ensure they will be rectangle, square or half round in profile.
12. The Commission determined that the material for the gas chimney on the screen porch must be monolithic in the material to not change material on an exterior corner.
13. The Commission found the use of awning windows as a substitute to be appropriate.
14. Per Section 5.15.5.F.4. shutters shall be added to all windows that can accept them, specifically, they must be added on the Carriage House.
15. Per Section 5.3.3.G. the Landscape Plan must be revised to show the requirement of 75 percent lot coverage with tree canopy measured as the mature canopy, not including rooftops has been met.
16. Per Section 3.22.2.A., a Town of Bluffton Tree Removal Permit must be obtained for any tree 14" (DBH) or greater located on a single-family lot and proposed for removal.
17. Per Section 5.15.6.E.7.2., the porch is to be shifted to center to allow the doors and gable (including the window in the second story) to be centered on the columns.

Vice Chair Gallagher-Adams seconded the motion. All were in favor and the motion passed.

#### **X. DISCUSSION**

No discussion.

#### **XI. ADJOURNMENT**

Vice Chair Gallagher-Adams made a motion to adjourn the March 3, 2021 Historic Preservation Commission meeting. Commissioner Schmelter seconded the motion, and all were in favor. The meeting was adjourned at 8:30 p.m.

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	April 7, 2021
<b>PROJECT:</b>	Lot 20, 7 Pearl Street – New Construction: Single-Family Residential
<b>APPLICANT:</b>	Sawyer Graham and Preston Glover
<b>PROJECT MANAGER:</b>	Katie Peterson, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Sawyer Graham and Preston Glover, on behalf of William Glover, requests that the Historic Preservation Commission approve the following application:

1. **COFA-02-21-014972.** A Certificate of Appropriateness to allow the construction of a new one and a half-story single-family structure of approximately 2,604 SF and a Carriage House of approximately 880 SF located at 7 Pearl Street, Lot 20 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

**INTRODUCTION:** The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,604 SF, has similar attributes of the Village House, but is not 2 stories in height, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 880 SF, which meets the design standards for a Carriage House Building Type. This lot is located within the Tabby Roads development plan, which specifies lot fronts Pearl Street and has a 6-foot front setback, 10-foot rear setback, 7.5-foot left and right setbacks. The proposed placement meets these setbacks.

The main house structure is under a two-story cross gabled roof with the side-facing gable closer to the front of the structure. It features full-length front and rear porches both under hipped roofs. The rear porch is screened in. At the rear of the structure, an unconditioned breezeway attaches the primary structure to the Carriage House. The proposed materials include combination of horizontal and vertical siding, tabby stucco foundation and chimney, and a combination of shingle and metal roofs. The Carriage House also features a cross gable roof and similar materials and trim detailing as the primary structure.



This project was presented to the Historic Preservation Review Committee for conceptual review at the March 8, 2021 meeting and comments were provided to the Applicant (See attachment 6).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as

part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
    - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final recommendation regarding the appropriateness of the Additional Building Type.
    - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
      - 1) Section 5.15.6.J. Roofs and Gutters. Metal roofs must be revised to be Galvanized, Copper, Aluminum, Zinc-Alum material and have a profile of either Standing Seam or 5-V Crimp 24" maximum spacing with panel ends exposed at overhang in profile. The plans show the use of a metal roof but there is not enough information to complete the review. Additional detail must be provided.
      - 2) Section 5.15.6.J. Roofs and Gutters. Shingle roofs must be Metal or Asphalt "dimensional" type, Slate, Composite Slate material and be Square, Rectangular, Fish Scale, Diamond in profile. The plans show the use of shingles, but there is not enough information to complete the review. Additional detail must be provided.
      - 3) Section 5.15.6.I. Windows and Doors. Door material must be wood, metal, or metal-clad. There is not enough information to complete the review. Additional information on a door schedule must be provided for review.
      - 4) Section 5.15.6.I. Windows and Doors. Windows with true divided lite or simulated divided lite are encouraged. The window detail does not provide enough information to determine the configuration. Additional information on a window schedule must be provided for review.

- 5) Section 5.15.6.G. Building Walls. Exposed foundation walls (below the first floor elevation) shall be; Brick done in bond patterns; Painted brick; Tabby stucco (mixed shell size only); or Stucco over block or concrete (sand-finished or steel trowel only). The foundation is noted to have Tabby finish, but the size is not noted. Additional information must be provided to ensure the tabby finish is mixed shell size only or it is another permitted material.
- 6) Section 5.15.5.F. General Standards. Residential structures shall have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. The first finished floor height can be elevated as much as five (5) feet above average adjacent sidewalk grade without counting the undercroft as a story. When scaled, the elevations show the first finished floor height at 3 feet, however it is labeled to check the site plan, which shows the finished floor height at approximately 5.9 feet above average adjacent sidewalk grade. The site plan must be updated to be no less than 3 feet and no more than five feet above average adjacent sidewalk grade. Should the finished floor height exceed 3.5 feet, a grading plan must be provided for review.
- 7) Section 5.15.6.E.5. Porches. Porches shall be a minimum of 30 inches from grade to top of stairs with a maximum of 96 inches from grade to top of stairs. When scaled, the elevations show the porch height at 33 inches, however it is labeled to check the site plan, which shows the front porch height at approximately 64 inches above adjacent grade. The site plan and elevations must be updated to be consistent.
- 8) Section 5.15.6.E. Porches. Porches may be screened; however, if screened, all architectural expression (columns, railings, pickets, etc.) must occur on the outside of the screen (facing the street or public space). The rear porch is shown as screened, but a detail has not been provided. Additional information must be provided to ensure all architectural expression occurs outside of the screen.
- 9) Section 5.15.6.P. Cornice, Soffit, and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. All wall section details show plywood material in the soffits and must be revised to a permitted material.
- 10) Section 5.15.6.E.8. Chimneys, Roof Appurtenances, and Roof Penetrations. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted. Detail A-202 shows a 24 inch standing seam chimney cap. The chimney cap must be revised to a permitted configuration.
- 11) Section 5.15.6.N. Corners and Water Tables. Water table skirt boards shall be a minimum 5/4 stock and furred out to sit just

beyond the face of the foundation wall (after finish foundation material is applied, i.e. brick, stucco). The plans show a 2x material drip board with a 1x material skirt board. The skirt board must be revised to a minimum of 5/4 stock.

12) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. Railings shall be wood (termite resistant), painted or natural Wrought or Cast Iron. They shall have a top rail of 2-3/4" minimum diameter; Balusters shall be 4" on center spacing minimum with a 5" on center spacing maximum. A railing detail must be provided for review.

13) Section 5.15.7. Garages. Driveways shall be a maximum of 10 feet wide in front of the principal plane of the building. The plans show the driveway at 13 feet 10 inches in front of the principal plane of the building. The driveway must be narrowed to no wider than 10 feet in front of the principal plane of the building.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing is sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete, however, the following items must be addressed prior to approval of this application:

- 1) As the lot is located within the Tabby Roads Development, a letter of approval from the HARB must be submitted.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section the Applications Manual, Final Approval from the Tabby Roads HARB must be obtained and submitted to Town Staff.
2. Per Section 5.15.6.J., the metal roofs must be revised to be Galvanized, Copper, Aluminum, Zinc-Alum material and have a profile of either Standing Seam or 5-V Crimp 24" maximum spacing with panel ends exposed at overhang.
3. Per Section 5.15.6.J., the shingle roofs must be revised to be Metal or Asphalt "dimensional" type, Slate, Composite Slate material and be Square, Rectangular, Fish Scale, Diamond in profile.
4. Per Section 5.15.6.I., additional information on the doors must be provided to ensure they will be to be wood, metal, or metal-clad.
5. Per Section 5.15.6.I., additional information must be provided to ensure the windows are true divided lite or simulated divided lite (not snap-in or between the glass).
6. Per Section 5.15.6.G., additional information must be provided on the Tabby Stucco at the foundation to ensure it is mixed shell size.
7. Per Section 5.15.5.F., the first finished floor height on the elevations and site plan must match and be a minimum of three (3) feet above average adjacent sidewalk grade and a maximum of 5 feet above average adjacent sidewalk grade. Additionally, if the finished floor height exceeds 3.5 feet, a grading plan must be provided for the site to ensure the grade change will not affect drainage onto other lots.
8. Per Section 5.15.6.E.5., the porch height on the elevations and floor plans must be revised to match and be 30" minimum from grade to top of stairs; 96" maximum.
9. Per Section 5.15.6.E.5., a screen detail must be provided.
10. Per Section 5.15.6.P., plywood in the soffits must be removed and replaced with an approvable material.
11. Per Section 5.15.6.E.8., the chimney cap must be revised to one in keeping with masonry building technology.

12. Per Section 5.15.6.N., the water table skirt boards must be revised from a 1x material to be a minimum 5/4 stock and furred out to sit just beyond the face of the foundation wall (after finish foundation material is applied, i.e. brick, stucco).
13. Per Section 5.15.6.H. a railing and balustrade detail must be provided for review.
14. Per Section 5.15.7., the driveway must be narrowed to no wider than 10 feet in front of the principal plane of the building.

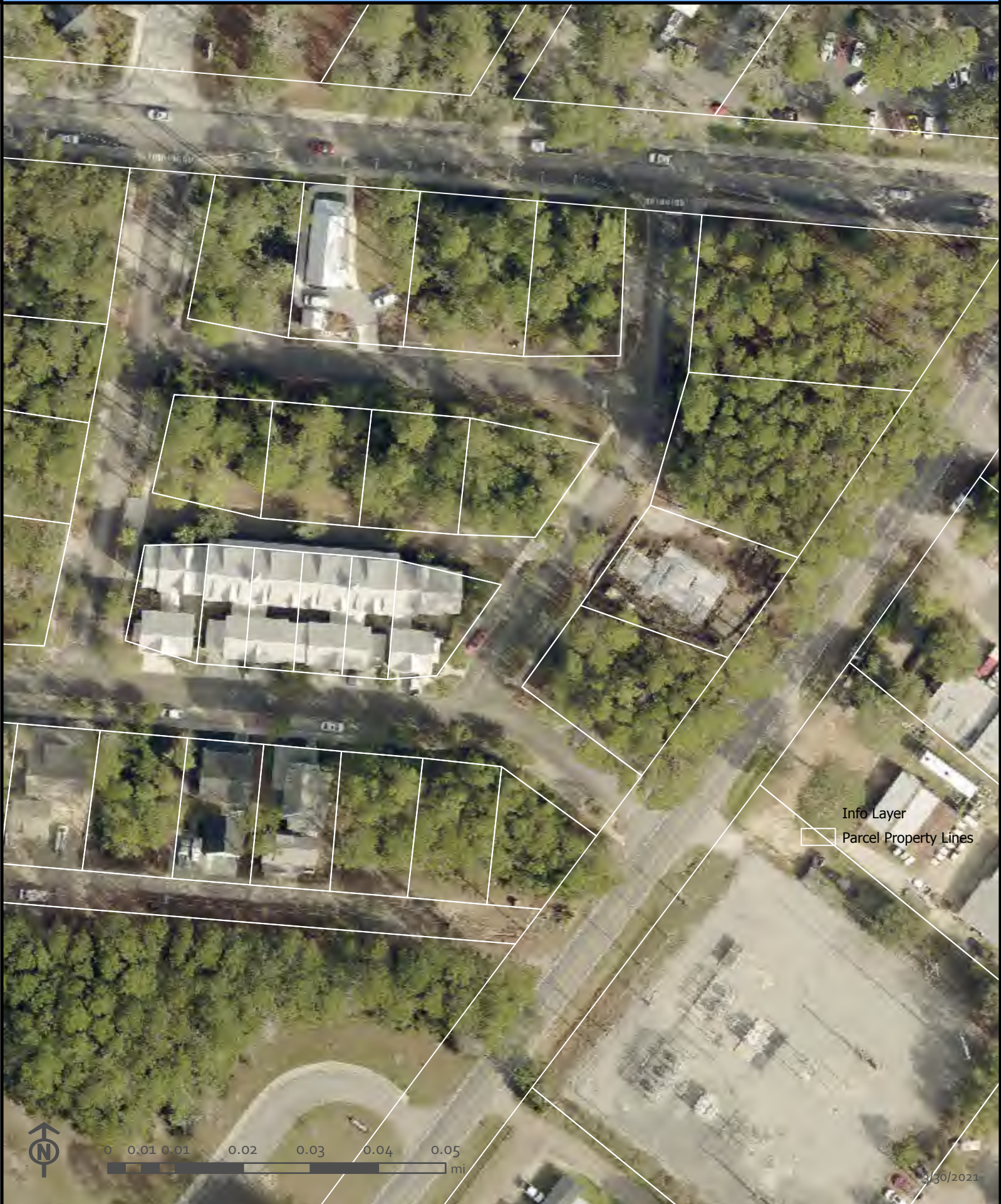
**ATTACHMENTS:**

1. Location Map
2. Zoning Map
3. Application & Applicant Narrative
4. Site Plan & Elevations
5. Landscape Plan
6. HPRC Report





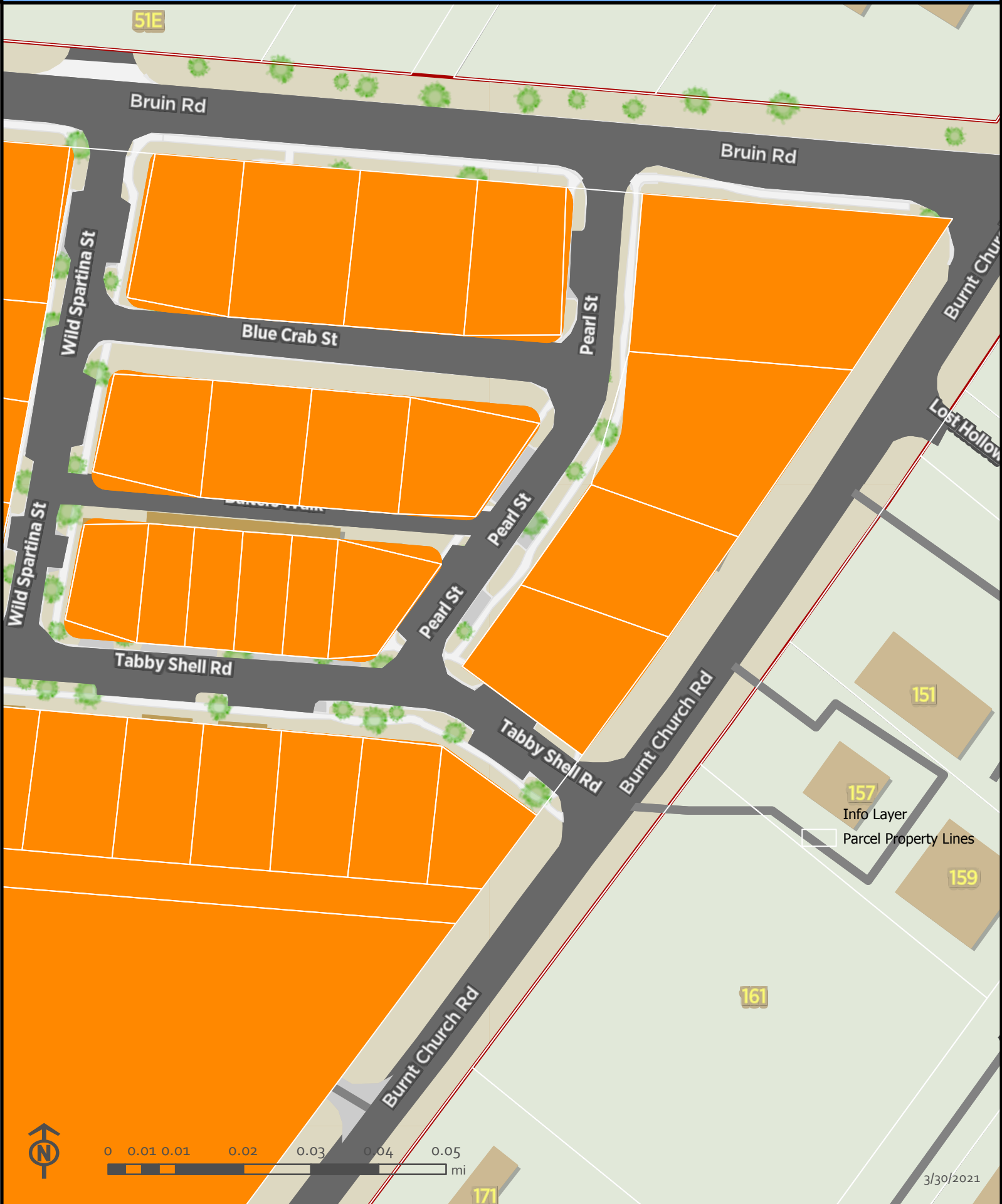
# 7 Pearl - Location Map







# 7 Pearl - Zoning Map







**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

ATTACHMENT 3  
Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4522  
www.townofbluffton.sc.gov  
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Sawyer Graham and Preston Glover		Name: William Glover	
Phone: 843 227 4433		Phone: 843 304-2455	
Mailing Address: 32 Savannah Trail Hilton Head, SC 29926		Mailing Address: 40 Sugaree Drive Bluffton, SC 29910	
E-mail: sgconstructionhhi@gmail.com		E-mail: billyglover77@gmail.com	
Town Business License # (if applicable):			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/gis/">http://www.townofbluffton.us/gis/</a> )			
Project Name: Glover Residence		Conceptual: <input checked="" type="checkbox"/>	Final: <input checked="" type="checkbox"/> Amendment: <input type="checkbox"/>
Project Location: 7 Pearl Street		Application for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation or Demolition	
Zoning District: neighborhood general -HD			
Acreage: .20			
Tax Map Number(s): District 610, Map 39, Parcel 1201			
Project Description: We propose to build a two-story cottage style home with approximately 2,500 heated square feet along with a matching carriage house with approximately 440 heated square feet.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Wm. R. Glover</i>		Date: <i>2-8-21</i>	
Applicant Signature: <i>Sawyer Graham</i>		Date: <i>2/8/21</i>	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

ATTACHMENT 3

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 3. Review by UDO Administrator and HPC</b>	<b>Staff</b>
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

ATTACHMENT 3

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>			<b>CONCEPTUAL REVIEW</b> <input checked="" type="checkbox"/>	<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>
<b>2. SITE DATA</b>				
Identification of Proposed Building Type (as defined in Article 5):				
Building Setbacks	Front: 5 feet	Rear: 10 feet	Rt. Side: 7.5 feet	Lt. Side: 7.5 feet
<b>3. BUILDING DATA</b>				
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>	
Main Structure	Main Houtse	0	~2,500 heated <span style="color: red;">2,602</span>	
Ancillary	Carriage House	0	440 heated / 440 garage	
Ancillary				
<b>4. SITE COVERAGE</b>				
<b>Impervious Coverage</b>		<b>Coverage (SF)</b>		
Building Footprint(s)		2,466 <span style="color: red;">2,880</span>		
Impervious Drive, Walks & Paths		driveway, walks & paths will be pervious		
Open/Covered Patios				
<b>A.TOTAL IMPERVIOUS COVERAGE</b>		2,466 <span style="color: red;">2,880</span>		
<b>B.TOTAL SF OF LOT</b>		8,776		
<b>% COVERAGE OF LOT (A/B= %)</b>		28.1% <span style="color: red;">32.8%</span>		
<b>5. BUILDING MATERIALS</b>				
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	
Foundation	concrete turndown (tabby)	Columns	PT Pine/rough sawn cypres	
Walls	2x4/2x6 spruce	Windows	vinyl (black)	
Roof	asphalt /standing seam metal	Doors	wood	
Chimney	tabby stucco	Shutters	N/A	
Trim	Hardie Plank	Skirting/Underpinning	Hardie Plank Fiber cement	
Water table		Cornice, Soffit, Frieze	Hardie Plank (Fiber cement	
Corner board	Hardie Plank (Fiber Cement b	Gutters	N/A	
Railings	Pressure Treated Pine	Garage Doors	Wood	
Balusters	Pressure Treated Pine	Green/Recycled Materials		
Handrails	PT Pine			



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

### APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site. <i>(Not required according to Katie Peterson)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved. <i>Email from head of HARB</i>
Concept	Final	SITE ASSESSMENT.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map. <i>(Included in Survey/Site plan)</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT**  
**APPLICATION CHECKLIST**

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>PRELIMINARY DEVELOPMENT PLAN APPLICATION:</b> Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**  
**ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Wm. R. Glover  
Signature of Property Owner or Authorized Agent

2-8-21  
Date

William R. Glover  
Printed Name

February 6, 2021

To Whom It May Concern:

I, William R. Glover, property owner of 7 Pearl Street in Bluffton, South Carolina, hereby consent to have Sawyer Graham and Preston Glover act on my behalf in all matters regarding the application for a Certificate of Appropriateness from the Town of Bluffton and the Bluffton Historical Preservation Commission.

Signed:

William R. Glover 2-6-21  
William R. Glover Date

## Project Narrative for the Proposed Glover Residence Located at 7 Pearl Street

We propose to build a two-story single-family residence with approximately 2,602 heated square feet, along with a matching carriage house with 440 heated square feet (880 total) located at 7 Pearl Street, Identified as Lot 20 in the Tabby Roads development, In the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

The carriage house will be slab on grade, while the main structure will be a raised monolithic slab with turndowns. The exposed slab and chimney will be finished in tabby stucco. The covered porches and stairs to said porches will be finished in tabby with brick borders and brick stairs. The structures will be framed with spruce lumber and engineered beams, trusses, and strapping per engineering specs. The structures will be fully clad with Hardie (fiber cement siding). The stairs in the portico, the carriage house stairs, service yard, privacy fence, and all brackets, handrails, drink rails, posts, and balusters will be premium kdat treated lumber. The main roofs of the structures will be architectural asphalt shingles, while all porch roofs, shed roofs, and breezeway roof will be standing seam metal. Windows will be black vinyl. The front door will be solid core wood stained to match the rough sawn cypress columns. (All other exterior doors, will be painted)

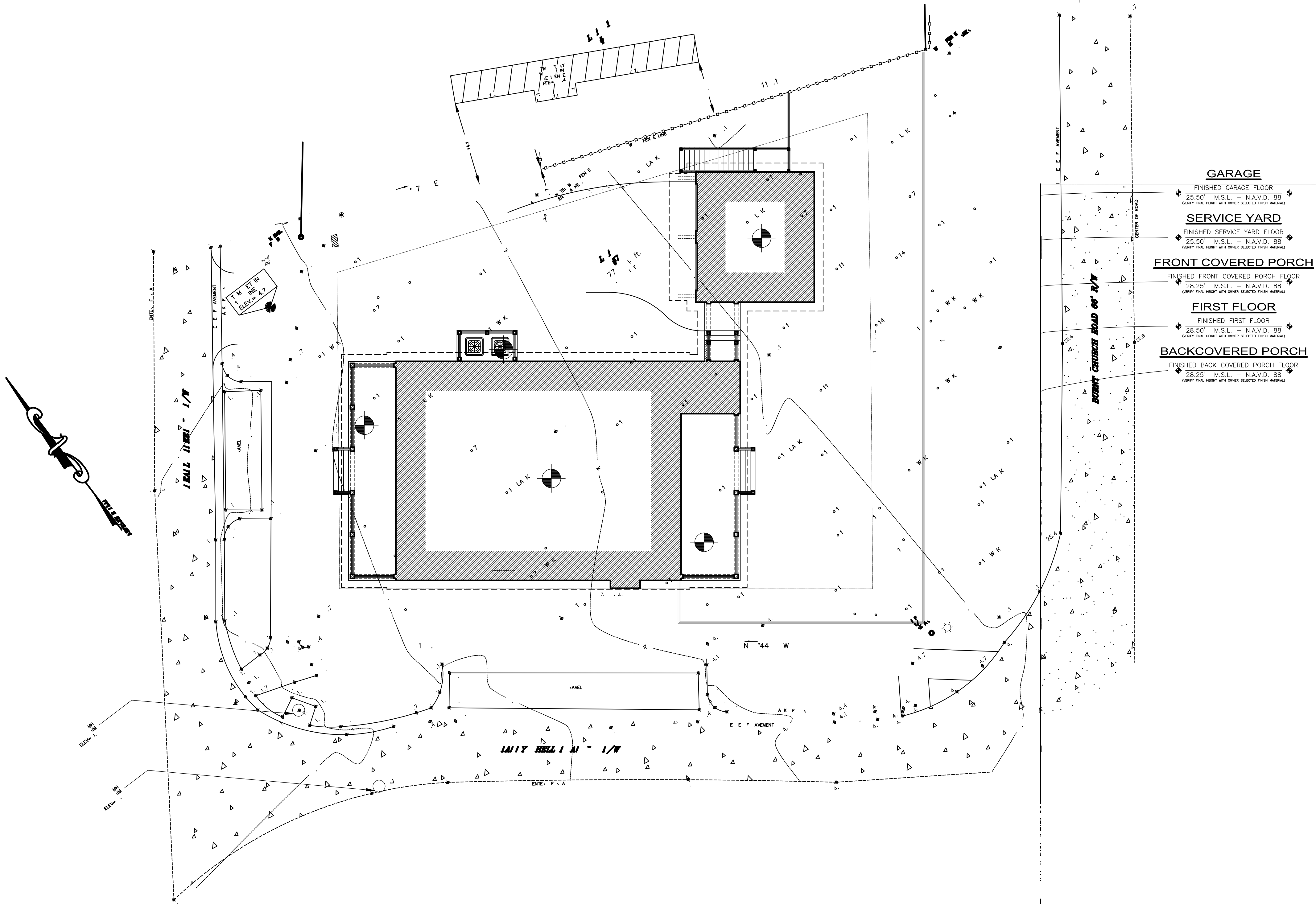
We have included with this application:

- A tree and topographical survey of the property.
- Digital and hardcopies of our architectural plans, including floor plans, roof plans, site plan, elevations, and architectural details.
- Digital and hardcopies of our landscape design. Please allow this full size plan to also serve as our tree removal plan. It indicates with red exes each tree on the property to be removed (location, size, and species) However, to further clarify our tree removal plan, we have included our previous rough sketch of our site plan with the trees we plan to keep circled in red along with the narrative we submitted in our tree removal application to the town. This narrative notes the number of each species of tree we will need to remove.





EXTERIOR ELEVATION - STREET CONTEXT  
SCALE: 1/8" = 1'-0"  
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SITE PLAN  
SCALE: 1" = 10'-0"  
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DRAWING NOTES

VERIFY ALL DRAWINGS WITH FIELD MATERIALS AND CONDITIONS.

STRUCTURAL INFORMATION  
REFER TO PLAN FOR ALL MATERIALS, TYPICAL INFORMATION

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GENERAL PROJECT NOTES

VERIFY ALL DRAWINGS WITH FIELD MATERIALS AND CONDITIONS.

THE MATERIALS TO BE USED IN THE CONSTRUCTION OF THE BUILDING SHALL BE OF THE QUALITY AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATIONS OF THE MATERIALS.

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VERIFY ALL DRAWINGS WITH FIELD MATERIALS AND CONDITIONS.

PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

FIRST AND SECOND FLOOR PLAN - CARRIAGE HOUSE 24 x 36

REVIEW

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PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

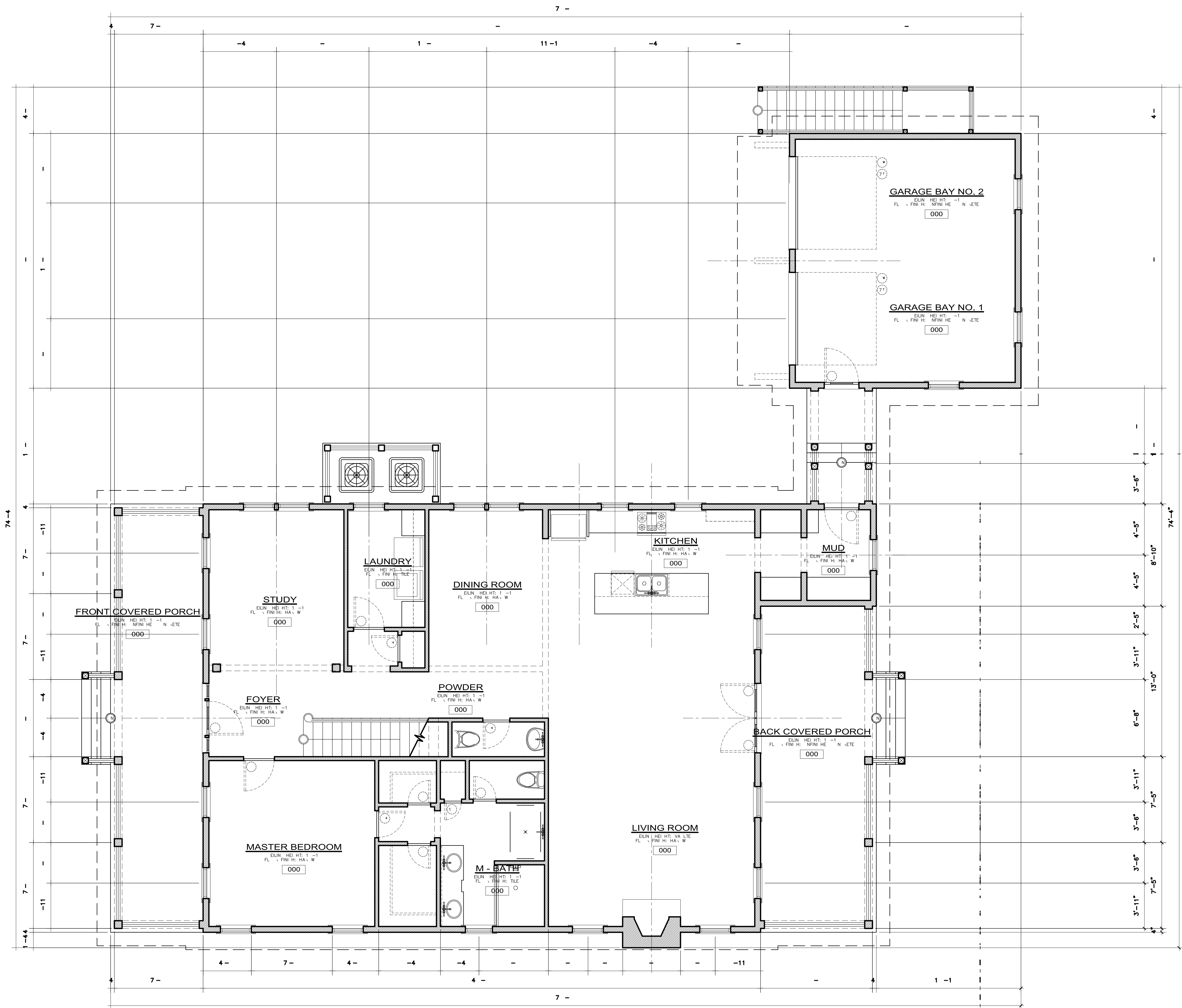
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PEARL STREET

SINGLE FAMILY RESIDENCE - NEW  
7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

FIRST FLOOR PLAN - MAIN HOUSE

REVIEW

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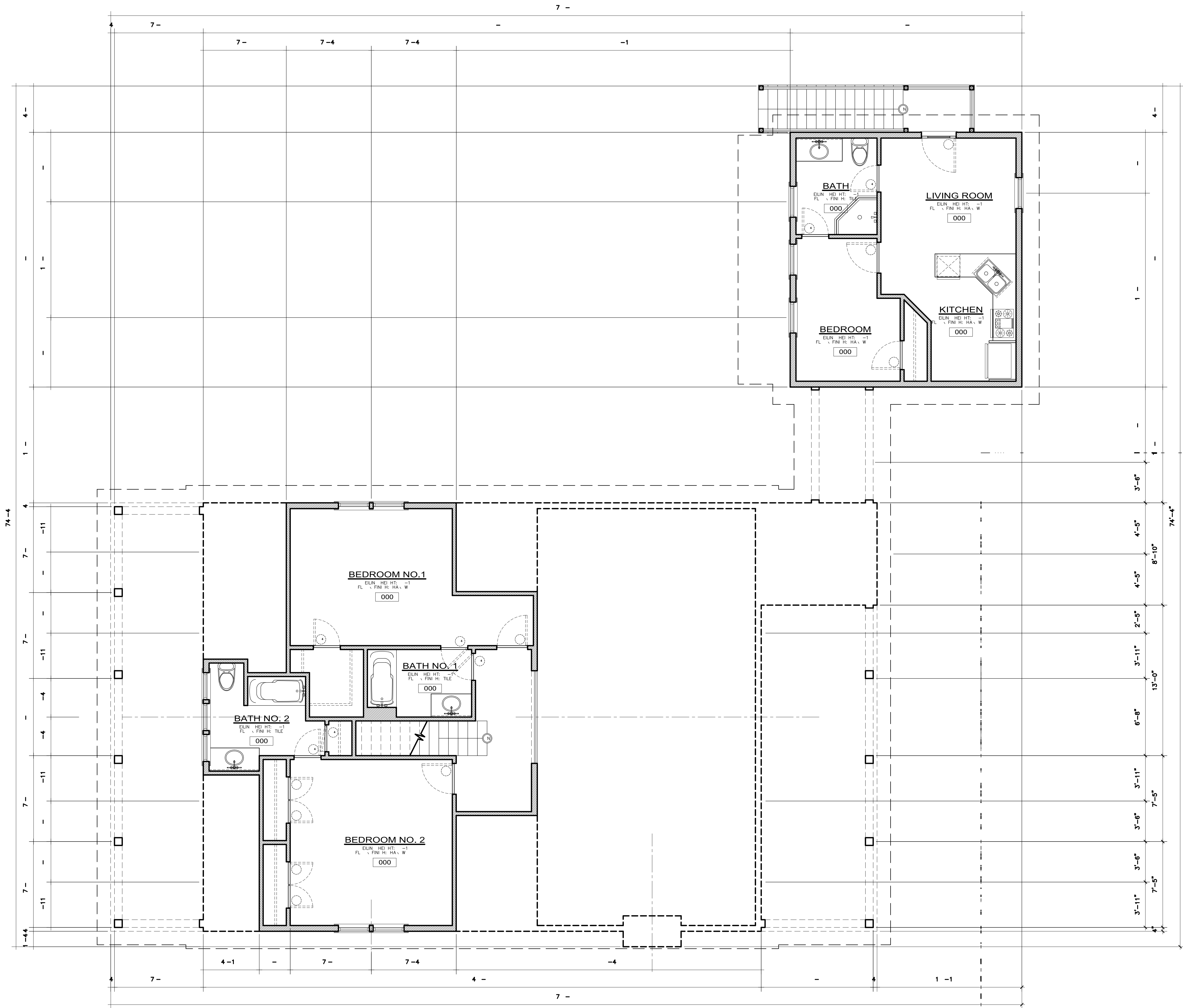
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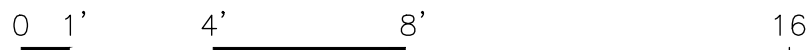
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SECOND FLOOR PLAN - MAIN HOUSE  
SCALE: 1/4" = 1'-0"  
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SECOND FLOOR PLAN - MAIN HOUSE  
SCALE: 1/4" = 1'-0"  
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**DRAWING NOTES**  
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**PEARL STREET**

SINGLE FAMILY RESIDENCE - NEW  
7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

SECOND FLOOR PLAN - MAIN HOUSE 24 x 36

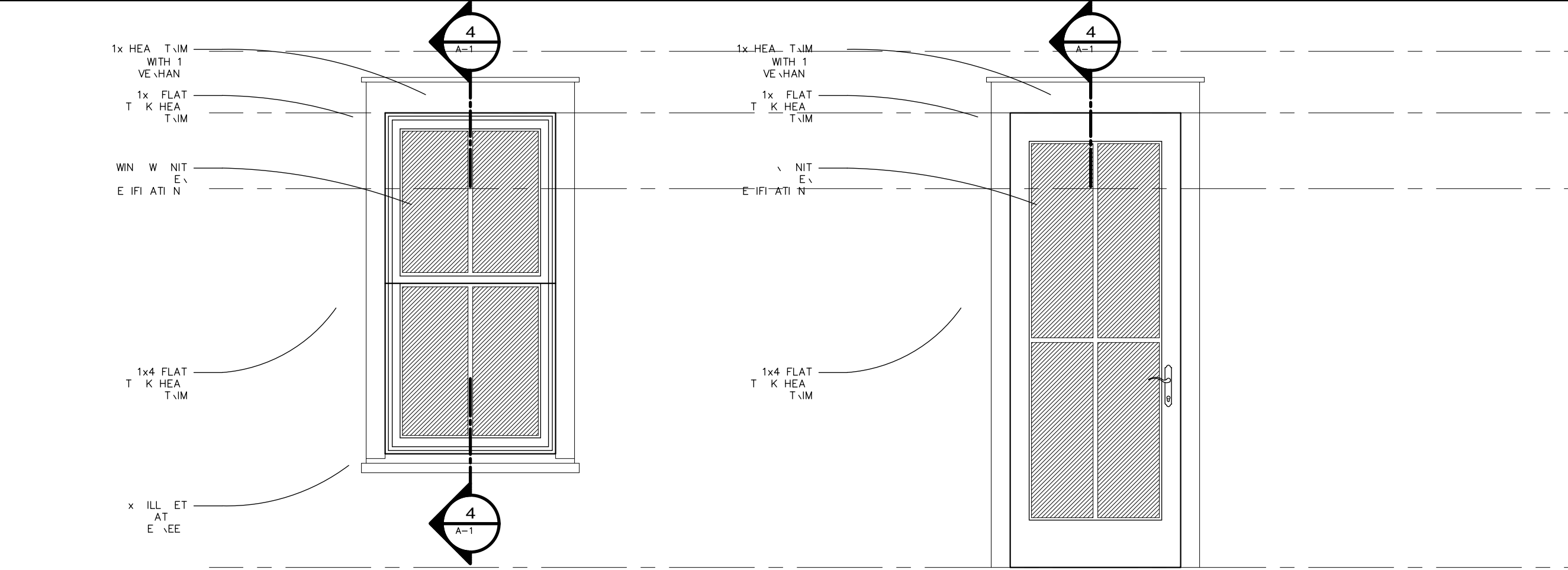
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**PEARL STREET** 21 - 013  
03.12.2021  
SINGLE FAMILY RESIDENCE - NEW  
7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY  
REV

**A - 101**  
00 - 00 SINGLE USE ONLY



WINDOW TRIM DETAIL

SCALE: 1-1/2" = 1'-0"

A - 102 - 5

WINDOW AND DOOR TRIM

SCALE: 1/2" = 1'-0"

A - 102 - 4

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION

MANUFACTURE

ALL WINDOW AND DOOR TRIM SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WINDOW AND DOOR TRIM.

EGRESS

THE EGRESS PATH SHALL BE MAINTAINED AT ALL TIMES. THE EGRESS PATH SHALL BE KEPT CLEAR OF OBSTRUCTIONS.

ALIGNMENT

ALL WINDOW AND DOOR TRIM SHALL BE ALIGNED WITH THE FINISH SURFACE OF THE WINDOW AND DOOR TRIM.

SHOP DRAWINGS

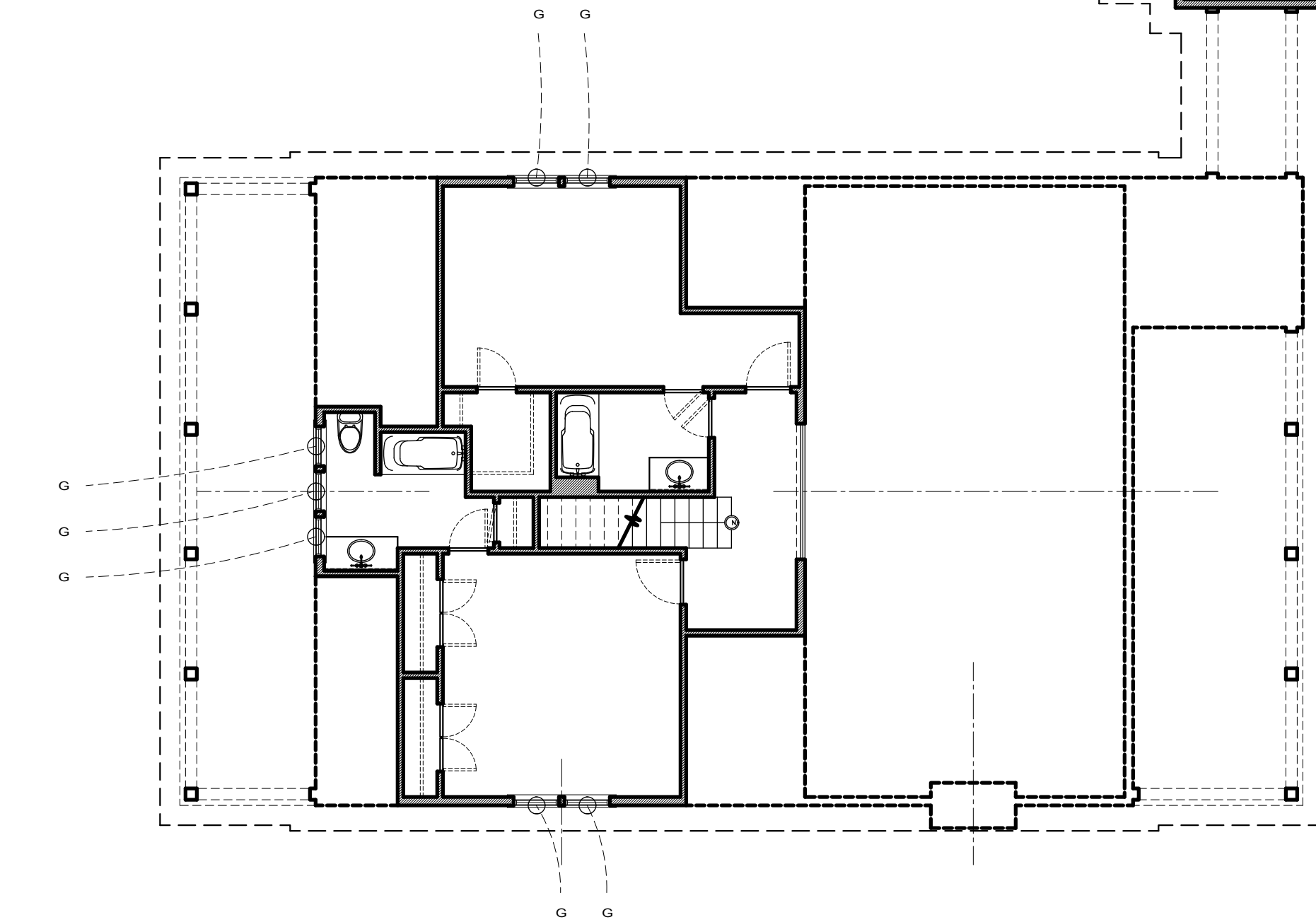
ALL WINDOW AND DOOR TRIM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT.

DOOR SWING

ALL DOOR SWINGS SHALL BE INDICATED BY AN ARROW ON THE DOOR SWING SYMBOL.

NOTES

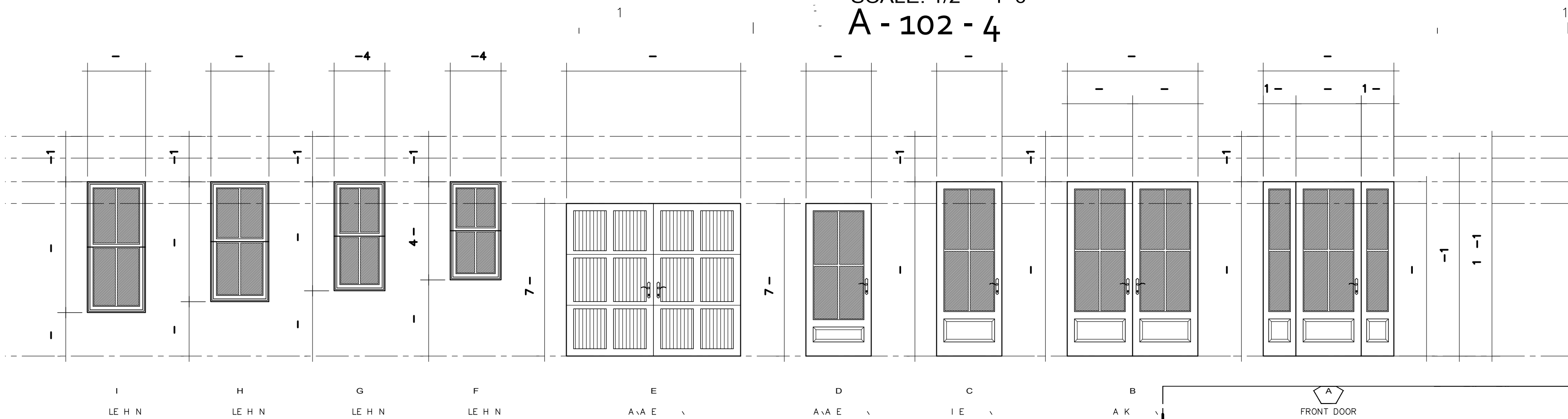
1. ALL WINDOW AND DOOR TRIM SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WINDOW AND DOOR TRIM.  
2. THE EGRESS PATH SHALL BE MAINTAINED AT ALL TIMES. THE EGRESS PATH SHALL BE KEPT CLEAR OF OBSTRUCTIONS.  
3. ALL WINDOW AND DOOR TRIM SHALL BE ALIGNED WITH THE FINISH SURFACE OF THE WINDOW AND DOOR TRIM.  
4. ALL WINDOW AND DOOR TRIM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT.



SECOND FLOOR PLAN - WINDOWS AND DOORS

SCALE: 1/8" = 1'-0"

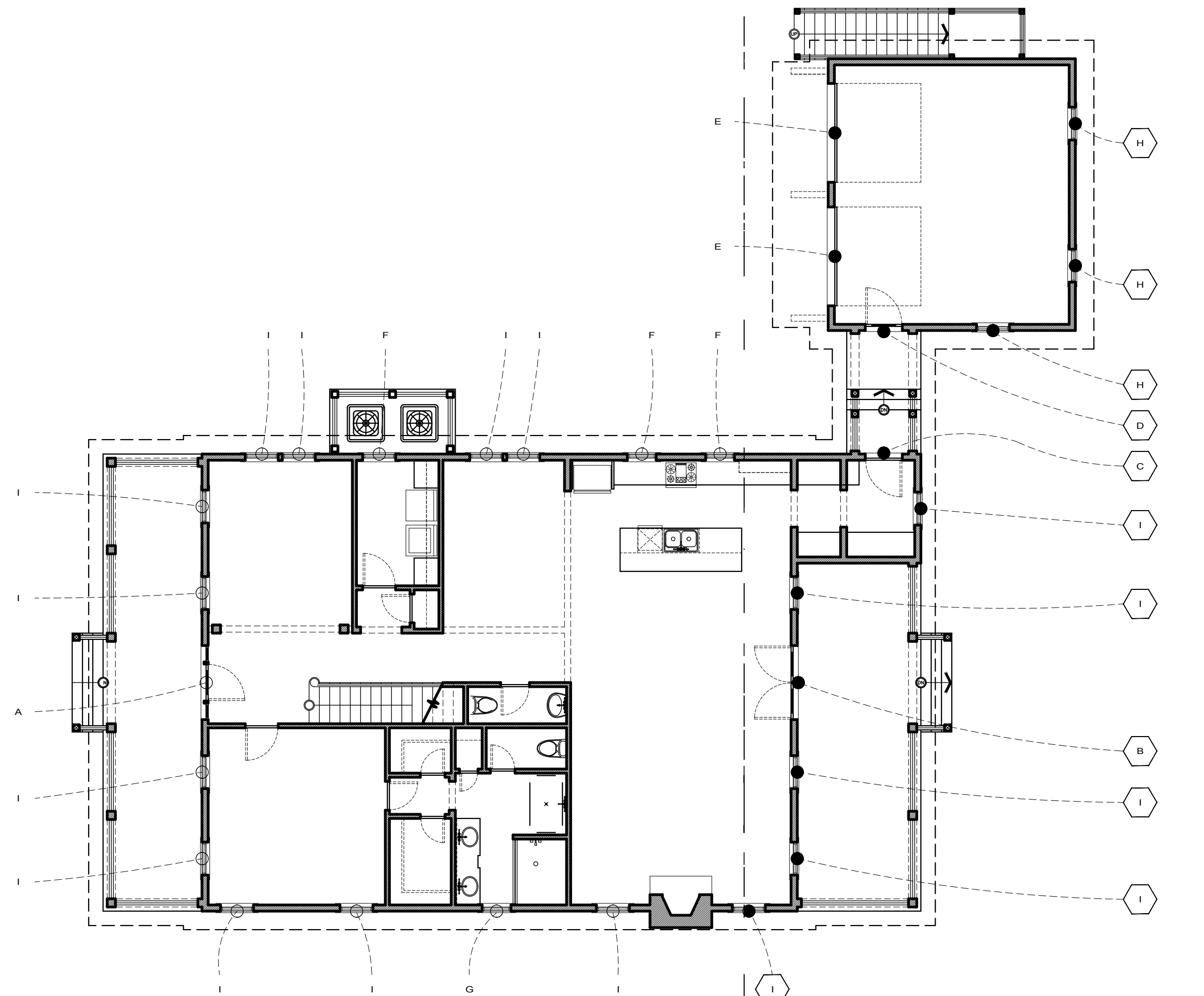
A - 102 - 2



WINDOW AND DOOR NOTES

SCALE: 1/4" = 1'-0"

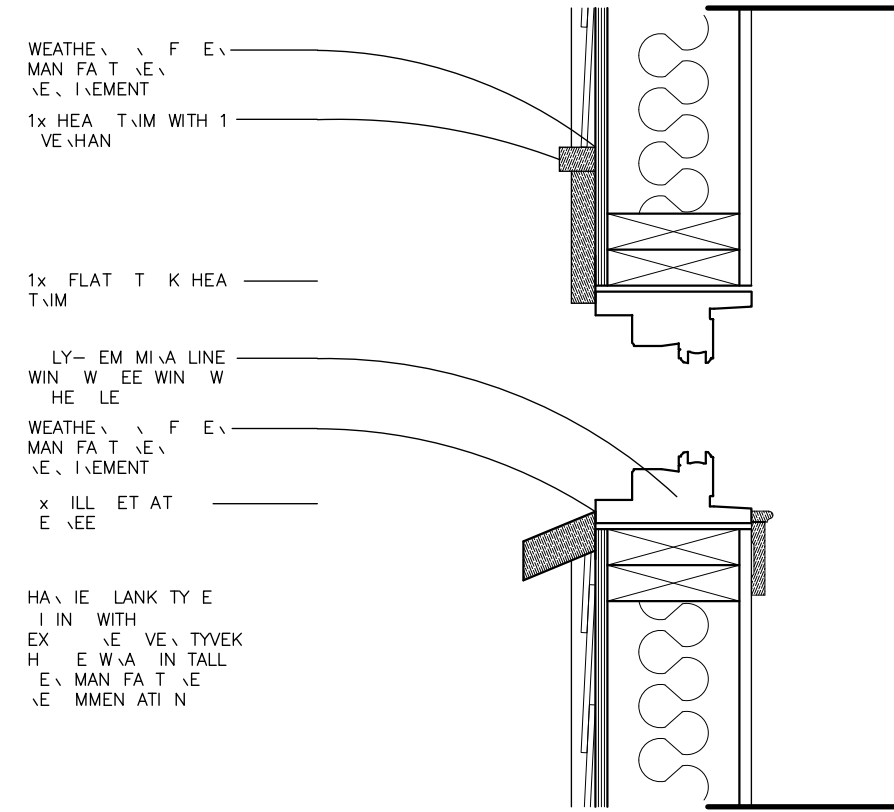
A - 102 - 3



FIRST FLOOR PLAN - WINDOW AND DOORS

SCALE: 1/8" = 1'-0"

A - 102 - 1



DRAWING NOTES

VERIFY ALL WINDOW AND DOOR TRIM WITH THE MANUFACTURER OF THE WINDOW AND DOOR TRIM.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ALL STRUCTURAL INFORMATION.

DESIGN LOADS  
EINLA ARENWIN EE ICC 600-2014  
V = 1 M H  
EX = SEATE-Y

FL ZNE E-V EY X

GENERAL PROJECT NOTES

SEE VENDOR FOR ALL MATERIALS AND FINISHES.

VERIFY ALL MATERIALS AND FINISHES WITH THE MANUFACTURER OF THE MATERIALS AND FINISHES.

WINDOW AND DOOR TRIM SHALL BE MANUFACTURED BY THE MANUFACTURER OF THE WINDOW AND DOOR TRIM.

THE EGRESS PATH SHALL BE MAINTAINED AT ALL TIMES. THE EGRESS PATH SHALL BE KEPT CLEAR OF OBSTRUCTIONS.

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ALL STRUCTURAL INFORMATION.

DESIGN LOADS  
EINLA ARENWIN EE ICC 600-2014  
V = 1 M H  
EX = SEATE-Y

FL ZNE E-V EY X

VERIFY ALL WINDOW AND DOOR TRIM WITH THE MANUFACTURER OF THE WINDOW AND DOOR TRIM.

PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

FIRST AND SECOND FLOOR PLAN - CARRIAGE HOUSE 24 x 36

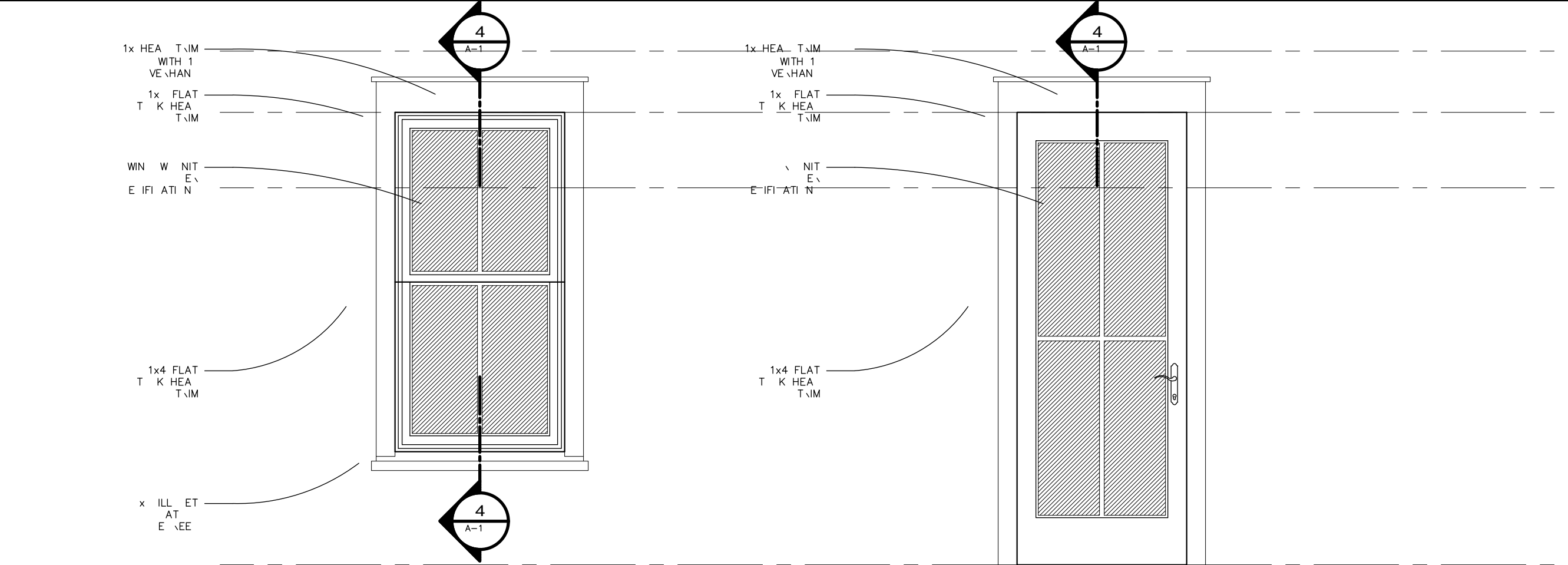
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TOWN OF BLUFFTON  
BEAUFORT COUNTY  
21 - 013  
03.12.2021  
REV

A - 102  
00 - 00  
SINGLE USE ONLY



WINDOW TRIM DETAIL

SCALE: 1-1/2" = 1'-0"

A - 102 - 5

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION

MANUFACTURE

EGRESS

ALIGNMENT

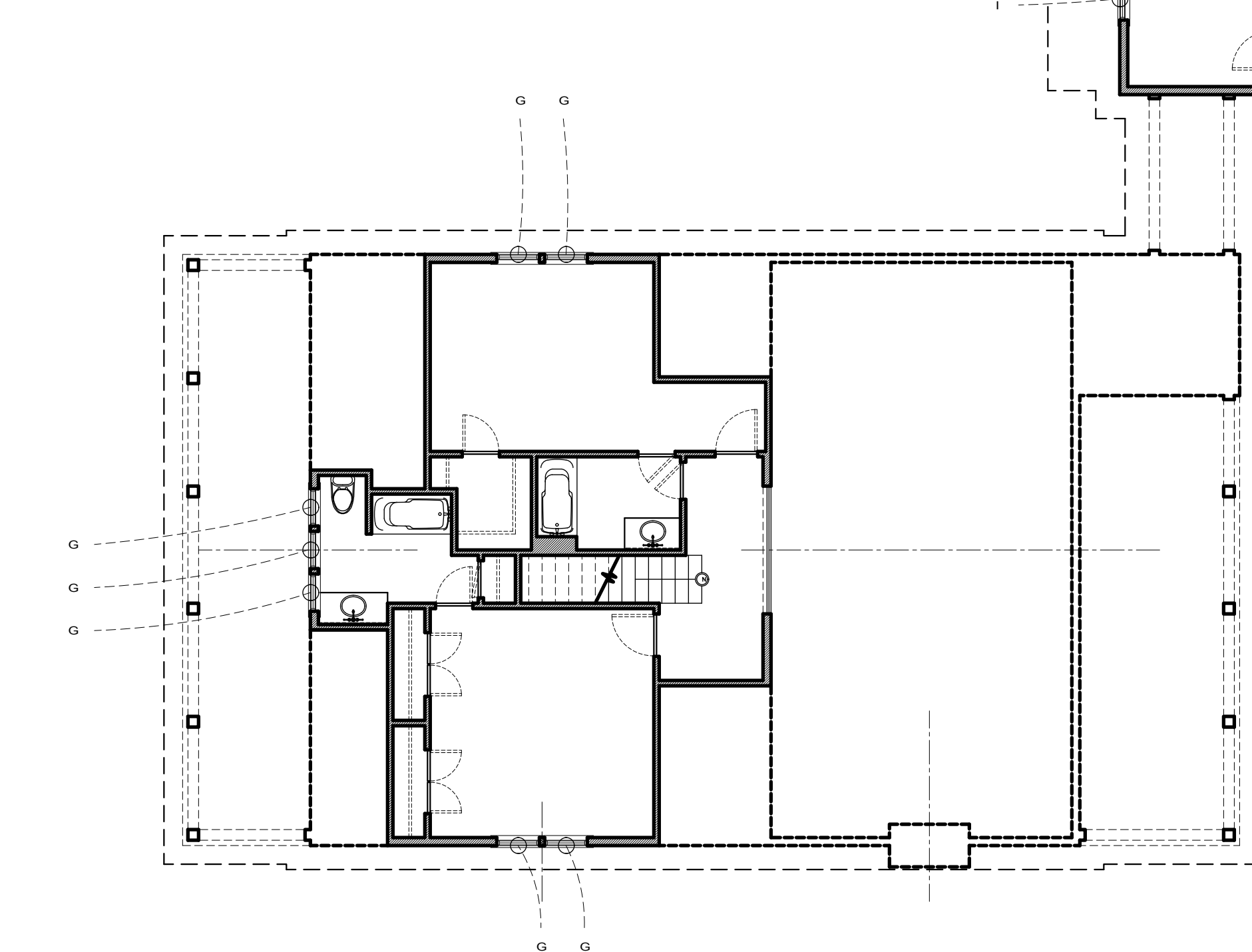
SHOP DRAWINGS

DOOR SWING

NOTES

SECOND FLOOR PLAN - WINDOWS AND DOORS  
SCALE: 1/8" = 1'-0"

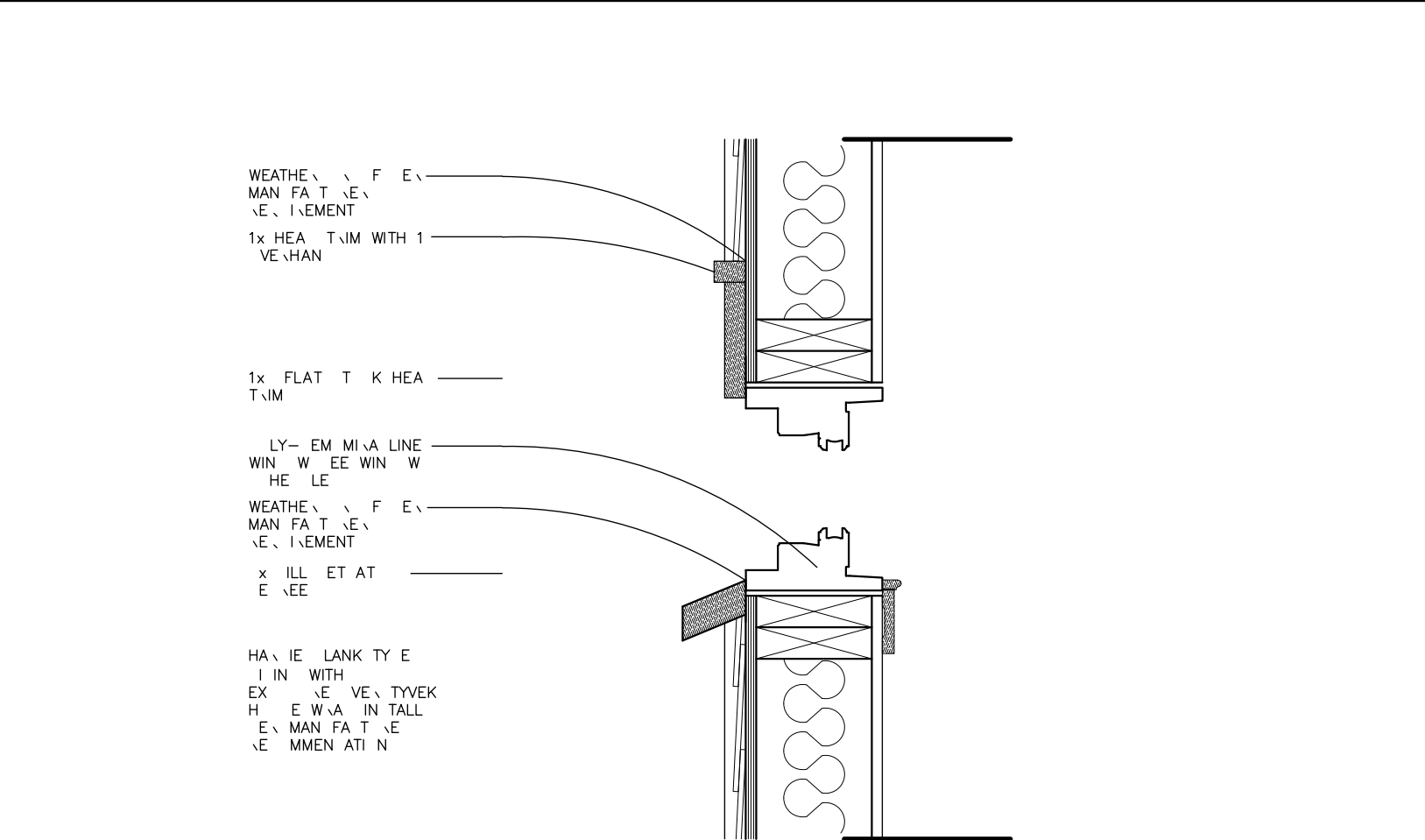
A - 102 - 2



SECOND FLOOR PLAN - WINDOWS AND DOORS

SCALE: 1/8" = 1'-0"

A - 102 - 2



WINDOW AND DOOR TRIM

SCALE: 1/2" = 1'-0"

A - 102 - 4

MANUFACTURE

EGRESS

ALIGNMENT

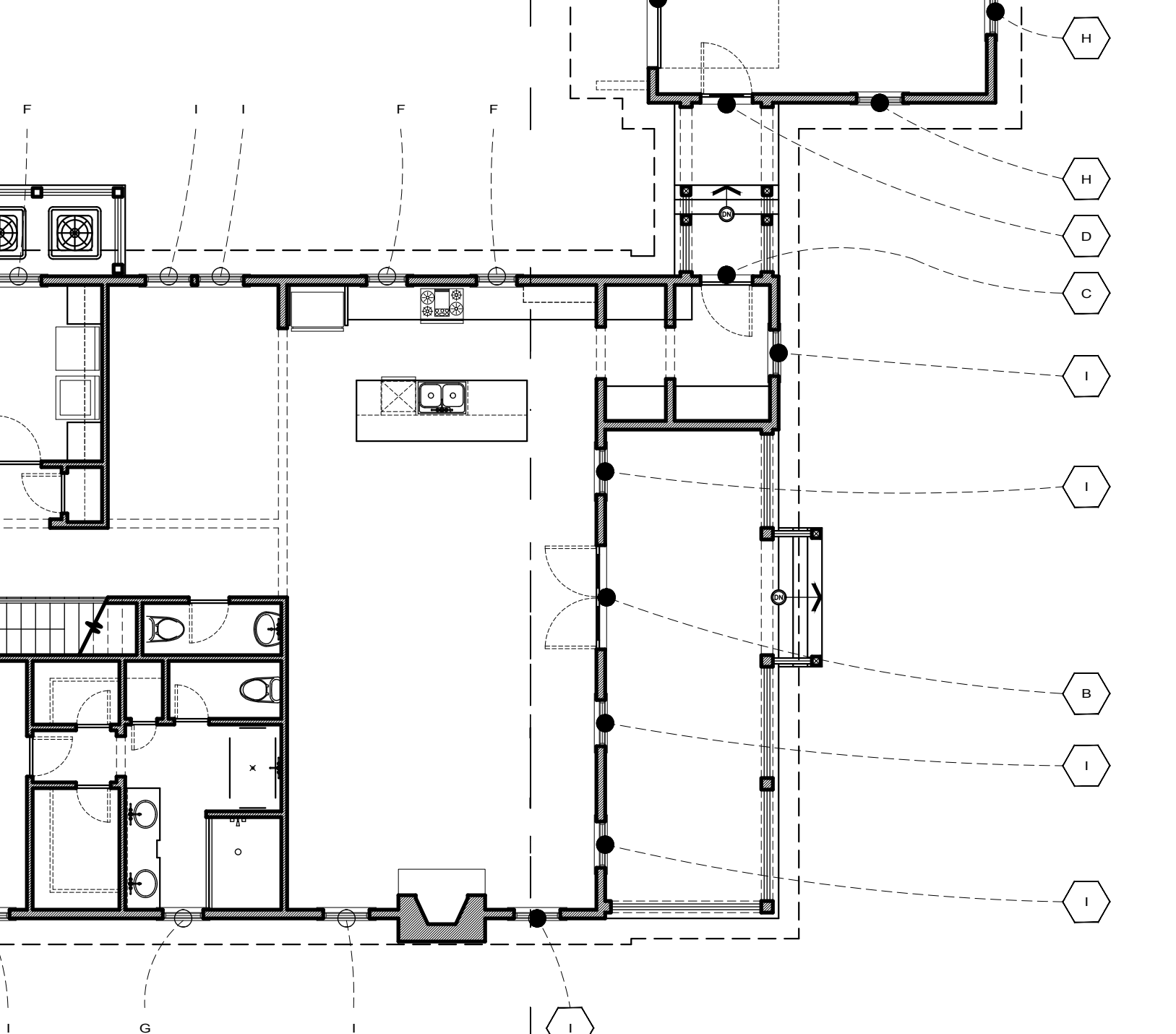
SHOP DRAWINGS

DOOR SWING

NOTES

FIRST FLOOR PLAN - WINDOW AND DOORS  
SCALE: 1/8" = 1'-0"

A - 102 - 1



FIRST FLOOR PLAN - WINDOW AND DOORS

SCALE: 1/8" = 1'-0"

A - 102 - 1

## DRAWING NOTES

VERIFY ALL JAWNS WITH FFI E MA TE-ET J-T ANY N T-TI N

STRUCTURAL INFORMATION  
EE F N ATI N LAN F-A I T I NAL T-T JAL INF-MATI N

DESIGN LOADS  
E I N L A-A E N WIN EE  
V = 1 M H  
EX - E ATE -Y

ICC 600-2014  
I.R.C. - 2018

FL - Z NE E-VEY X



ATTACHMENT 4

## GENERAL PROJECT NOTES

EE VE-A E E F-S N TE AN LIMITATI N T-A HITE T-JAL AN E I N E F E V I E

VERIFY AN -INATE ALL MATERIAL ELE TI N E IPI-ATI N WITH THE MATERIAL ELE TI N HEET -J-T -E I N FA-JATI N AN IN TALLATI N

JAWN A-E V I E Y THE E I N TEAM T THE ILE E AN WNE AN A-E LIMITE IN E THE ILE E AN THE WNE A-E E N ILE F-A I T I N E IPI-ATI N T-T ALLE T I N E I N JAWN E T AL N WITH THE A MINI TATI N AN E VATI N F THE N T-TI N N T-A T

THE ILE E AN THE WNE A-E E N ILE F THE -INATI N AN A-M IPI-ATI N NE E A-Y T MEET THE E-LEMENT F ANY VE-EMENT A EN Y HAVIN -I T I N VE-ANY A-T F THI -E T

E NEVAL N T-A T -I E N ILE T VEIFY ALL JAWN WITH FFI E MA TE-ET J-T ANY N T-TI N

INF-MATI N NTAINE N THE E-JAWN I -V I E F THE IVERNEN E F THE E NEVAL N T-A T -I N EX-TI N THE W-K E V E-Y ATTEM T HA -EEN MA E T -V I E M LE TE AN A -ATE -E E ENTATI N F ALL N I T I N

F-A I MEN I N T H WIN -N E T I N THE N T-A T -I HALL -E E T LA IPI-ATI N F A M THE E I N TEAM E T -E E E I N

N T-A T -I HALL VEIFY ALL EXI T I N I T I N IN THE FIEL ANY I -E AN IE HALL E -HT T THE ATTENTI N F THE E I N TEAM

THE N T-A T -I HALL MAINTAIN AT THE ITE F THE W-K A E T F IE -JAWN -THE N T-A T -I HALL E -ALL HAN E AN EVATI N F A M THE JAWN N THI A -ILT ET WH H HALL E ATE AT LEA T E V E-Y THE -E WEEK AT THE I E F THE THE N T-A T -I HALL -V I E NE M LE TE E T F ALL A -ILT INF-MATI N T THE E I N TEAM IN LEA AN LE I LE F-MAT

STRUCTURAL INFORMATION  
EE F N ATI N LAN F-A I T I NAL T-T JAL INF-MATI N

DESIGN LOADS  
E I N L A-A E N WIN EE  
V = 1 M H  
EX - E ATE -Y

ICC 600-2014  
I.R.C. - 2018

FL - Z NE E-VEY X

VERIFY ALL JAWN WITH FFI E MA TE-ET J-T ANY N T-TI N

## PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

FIRST AND SECOND FLOOR PLAN - CARRIAGE HOUSE 24 x 36

## REVIEW

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7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY  
21 - 013  
03.12.2021  
REV

A - 102  
00 - 00 SINGLE USE ONLY



A - XIMATE A\A E H E\ E HEI HT  
- A.F.F.

E N FL \ EILN HEI HT  
- A.F.F.  
E N FL \ WIN W HEA HEI HT  
- A.F.F.

E N FL \  
-  
FL T FL \ EILN HEI HT  
- A.F.F.  
FL T FL \ WIN W HEA HEI HT  
- A.F.F.

FINI HE FL T FL \  
VEJFY WITH ITE LAN

FINI HE A\A E FL \  
VEJFY WITH ITE LAN

EXTERIOR ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

A - 200 - 2

A - XIMATE MAIN E HEI HT  
- A.F.F.

E N FL \ EILN HEI HT  
- A.F.F.  
E N FL \ WIN W HEA HEI HT  
- A.F.F.

E N FL \  
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FL T FL \ EILN HEI HT  
- A.F.F.

FL T FL \ WIN W HEA HEI HT  
- A.F.F.

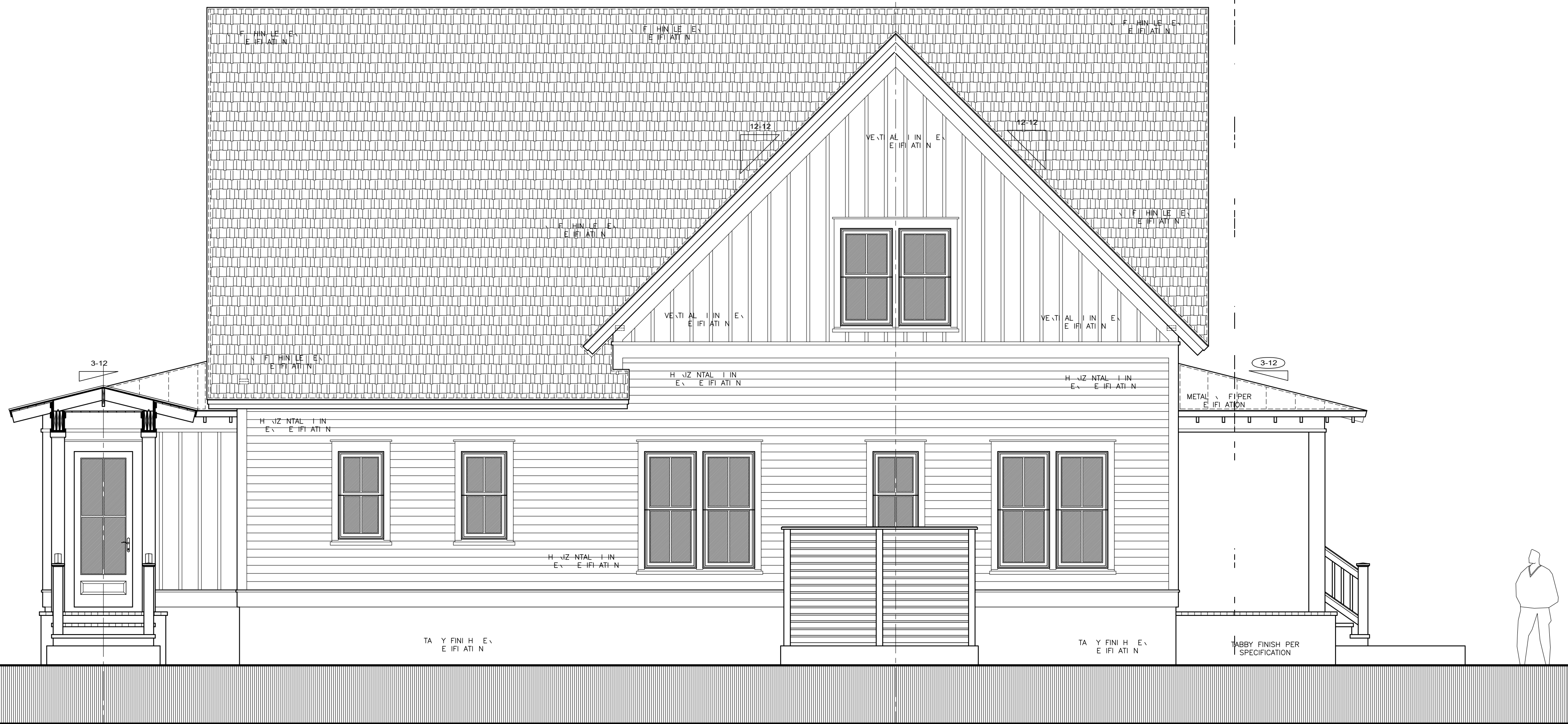
FINI HE FL T FL \  
VEJFY WITH ITE LAN

FINI HE A\A E FL \  
VEJFY WITH ITE LAN

EXTERIOR ELEVATION - LEFT

SCALE: 1/4" = 1'-0"

A - 200 - 1



## DRAWING NOTES

VEJFY ALL \AWN WITH FFI E MA TE\ ET \ T ANY  
N T\ T IN

STRUCTURAL INFORMATION  
EE F N ATI N LAN F \ A ITI NAL T\ T \AL INF \MATI N

DESIGN LOADS  
E I N L A A E N WIN EE  
V = 1 M H  
EX \E ATE \Y  
ICC 600-2014  
I.R.C. - 2018

FL Z NE E\ \VEY X

## GENERAL PROJECT NOTES

EE VE\ A E F N TE AN LIMITATI N T A\ HITE T \AL AN  
E I N E F E V E

VEJFY AN \ INATE ALL MATE \AL ELE TI N E I FI ATI N WITH  
THE MATE \AL ELE TI N HEET \ T \ E I N FA \ATI N AN  
IN TALLATI N

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TEAM

THE NT \AT \ HALL MAINTAN AT THE ITE F THE W \K A E T F  
IE \ \AWN THE NT \AT \ HALL E \ ALL HAN E AN  
E \ATI N F \ M THE \AWN N THI A \ ILT ET WH H HALL  
E \ATE AT LEA T E V E Y THE \ WEEK AT THE L E F THE  
THE NT \AT \ HALL \ V E NE M L E T E T F ALL A \ ILT  
INF \MATI N T THE E I N TEAM IN LEA \ AN LE I L E F \MAT

## STRUCTURAL INFORMATION

EE F N ATI N LAN F \ A ITI NAL T\ T \AL INF \MATI N

DESIGN LOADS  
E I N L A A E N WIN EE  
V = 1 M H  
EX \E ATE \Y  
ICC 600-2014  
I.R.C. - 2018

FL Z NE E\ \VEY X

VEJFY ALL \AWN WITH FFI E MA TE\ ET \ T ANY  
N T\ T IN

## PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

EXTERIOR ELEVATIONS

24 x 36

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## PEARL STREET

SINGLE FAMILY RESIDENCE - NEW  
7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

21 - 013  
03.12.2021

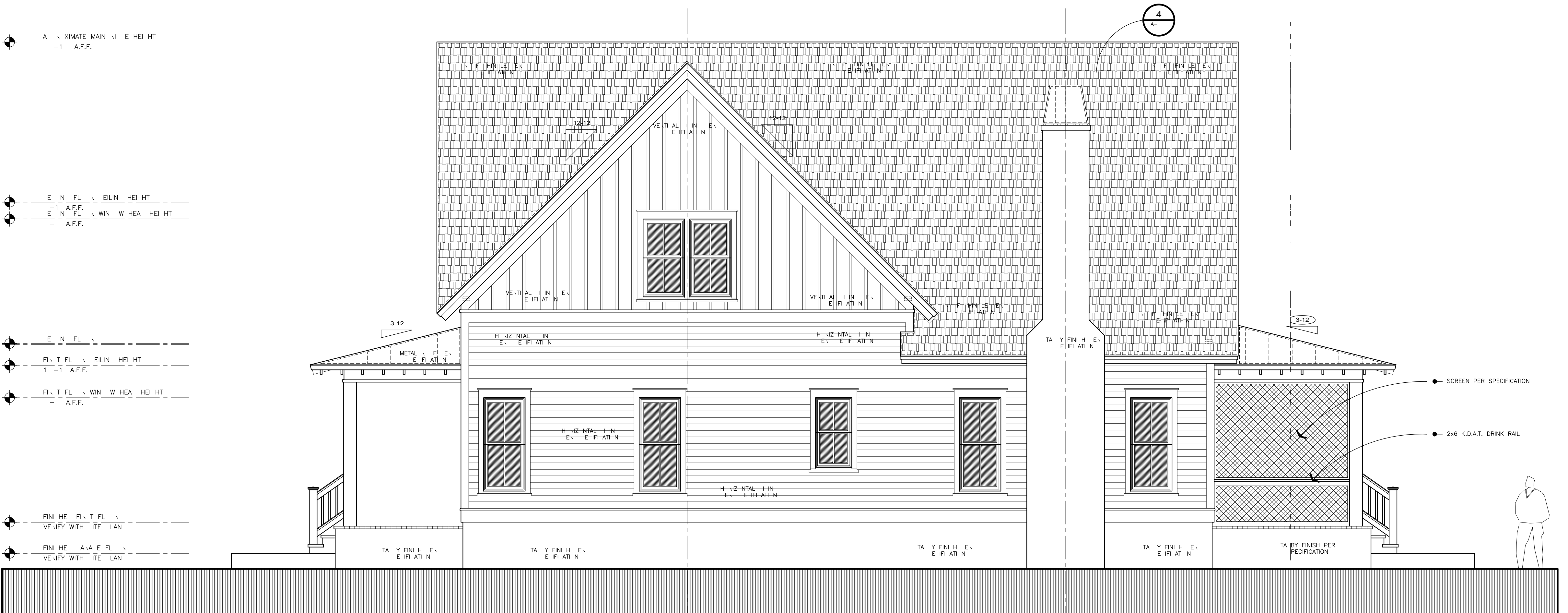
REV

A - 200

00 - 00 SINGLE USE ONLY



EXTERIOR ELEVATION - BACK  
SCALE: 1/4" = 1'-0"  
A - 201 - 2



EXTERIOR ELEVATION - RIGHT  
SCALE: 1/4" = 1'-0"  
A - 201 - 1

DRAWING NOTES  
VE-JFY ALL -JAWN WITH FFI E MA TE- ET -J -T ANY  
N T- T N.  
STRUCTURAL INFORMATION  
EE F N ATI N LAN F -A -ITI NAL T- T -JAL INF -MATI N  
DESIGN LOADS  
E I N L A -A E N WIN EE  
V = 1 M H  
EX -E ATE -Y  
ICC 600-2014  
I.R.C. - 2018  
FL - Z NE E- -VEY  
X



ATTACHMENT 4

GENERAL PROJECT NOTES

EE VE- AEF -N TE AN LIMITATI N T -A -HTE T -JAL AN  
E I N E F E W E  
VE-JFY AN -JATE ALL MATERIAL- ELE TI N E I FI ATI N WITH  
THE MATERIAL ELE TI N HEET -J -T -E JN FA -JATI N AN  
IN TALLATI N  
JAWN A-E -V I E -Y THE E I N TEAM T THE -I L E -AN  
WNE -AN A-E LIMITE IN E THE -I L E -AN THE WNE -A E  
E N I L E F -JALL E TAIL AN E I FI ATI N T -JAL E T I N  
THE E I N JAWN E TAIL AN WITH THE A MINI TATI N AN  
E VATI N F THE N T- T N -N T -A T  
THE I L E -AN THE WNE -A E E N I L E F THE -JATI N  
AN -M I FI ATI N NE E -A Y T MEET THE -E -I EMENT F ANY  
VEJMENT A EN Y HAVIN -JITI N VE -ANY A-T F THI  
-E T  
ENE -JAL NT -A T -I -E N I LET VE-JFY ALL -JAWN WITH  
FFI E MA TE- ET -J -T ANY N T- T N  
INF -MATI N NTAINC N THE E -JAWN I -J V I E F -J THE  
N V E N E F THE ENE -JAL NT -A T -I N E T I N THE W -J  
EVE -Y ATTEM T HA -EEN MA E T -V I E M LETE AN -JATE  
-E -E ENTATI N F ALL N I TI N  
F -J MEN T I N T H WIN -JN E T I N THE NT -A T -J HALL  
-E -E T -JATI N F I N F M THE E I N TEAM -J -E I N  
NT -A T -J HALL VE-JFY ALL EXI TI N N I TI N IN THE FIEL ANY  
I -E AN IE HALL E -HT T THE ATTENTI N F THE E I N  
TEAM  
THE NT -A T -J HALL MAINTAIN AT THE I TE F THE W -J A E T F  
I E -JAWN -THE NT -A T -J HALL E -JALL HAN E AN  
E VATI N F M THE -JAWN N THI -A -JLT ET WH H HALL  
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INF -MATI N T THE E I N TEAM IN LEA -AN I L E F -JMAT.

STRUCTURAL INFORMATION

EE F N ATI N LAN F -A -ITI NAL T- T -JAL INF -MATI N  
DESIGN LOADS  
E I N L A -A E N WIN EE  
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EX -E ATE -Y  
ICC 600-2014  
I.R.C. - 2018  
FL - Z NE E- -VEY  
X

VE-JFY ALL -JAWN WITH FFI E MA TE- ET -J -T ANY  
N T- T N.

PEARL STREET

SINGLE FAMILY RESIDENCE - NEW  
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BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

EXTERIOR ELEVATIONS 24 x 36

REVIEW

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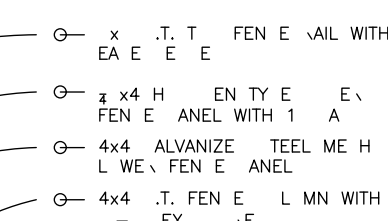
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PEARL STREET  
SINGLE FAMILY RESIDENCE - NEW  
7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY  
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03.12.2021  
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SINGLE USE ONLY

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WALL DETAIL - INTERIOR FOOTING  
SCALE: 1" = 1'-0"  
A - 400 - 3

[illegible]

WALL DETAIL - LOW ROOF PLATE  
SCALE: 1" = 1'-0"  
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WALL DETAIL - TYPICAL  
SCALE: 1" = 1'-0"  
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DRAWING NOTES

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I.R.C. - 2018

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ATTACHMENT 4

GENERAL PROJECT NOTES

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PEARL STREET

SINGLE FAMILY RESIDENCE - NEW

7 PEARL STREET  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
BEAUFORT COUNTY

STRUCTURAL ENGINEER SEAL

DRAWING NOTES

ROOF PLAN - DETAILS

HIP OVERHANGS

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GABLE OVERHANGS

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ROOF PITCH

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STRUCTURAL HARDWARE

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TREATED WOOD FASTENERS

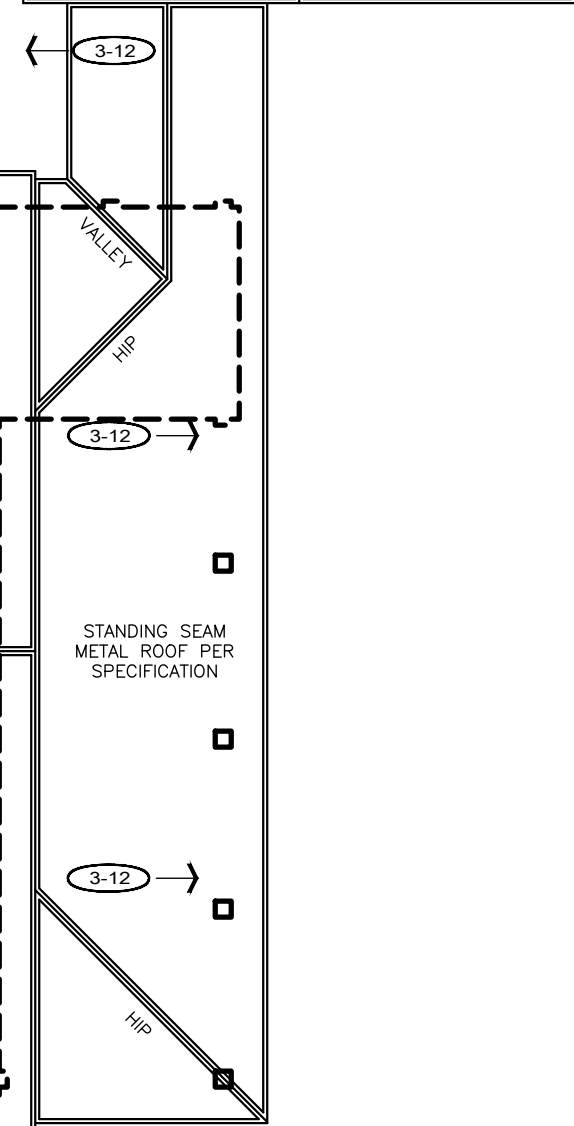
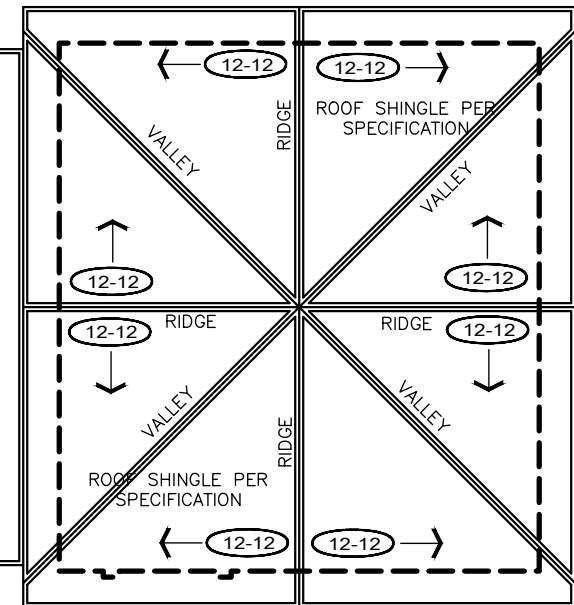
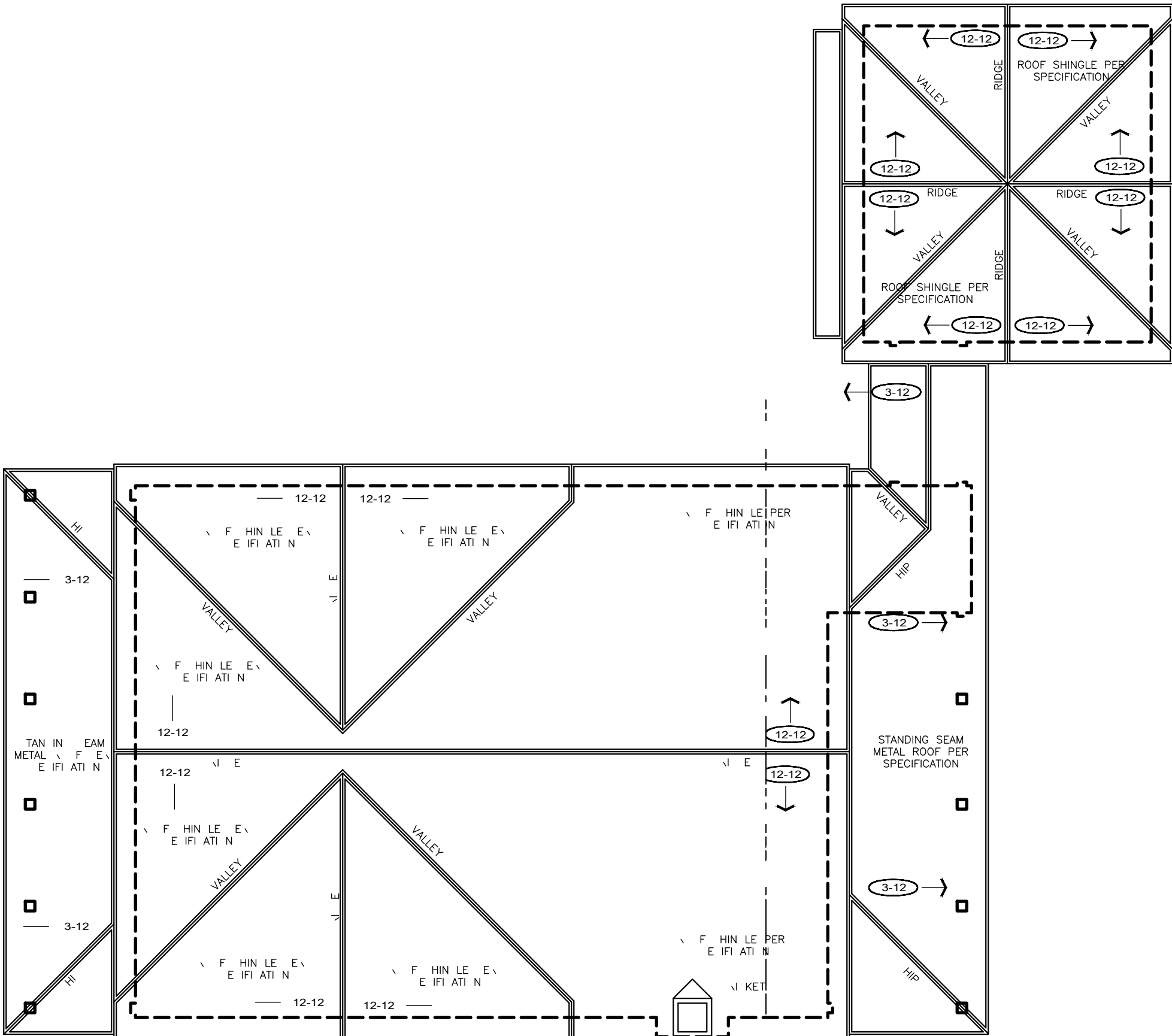
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ROOF PITCH  
12 - 12  
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES

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A, T

ROOF PLAN  
SCALE: 1/8" = 1'-0"  
A - 301 - 1



REVIEW

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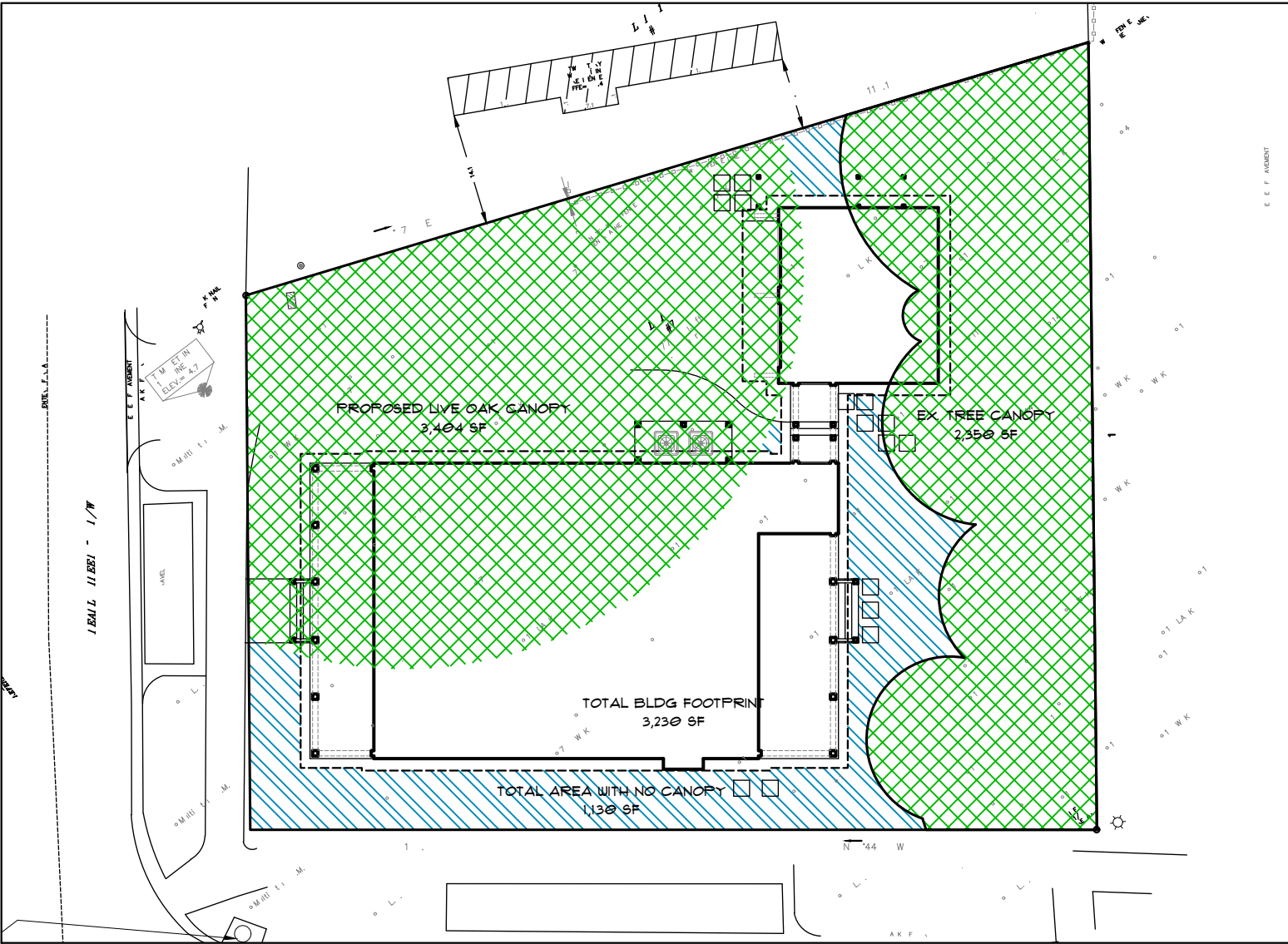
PEARL STREET  
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TOWN OF BLUFFTON  
BEAUFORT COUNTY  
21 - 013  
03.12.2021  
REV

A - 301  
00 - 00  
SINGLE USE ONLY

0 1' 8' 16' 32'







TREE CANOPY COVERAGE

TREE CANOPY CALCULATIONS	
TOTAL SITE SQUARE FOOTAGE	8,766 SF
TOTAL BUILDING FOOT PRINT, INCLUDING ALL OUT BUILDINGS	3,230 SF
SITE AREA LESS BUILDING FOOT PRINT	5,536 SF
PROPOSED NEW CANOPY COVERAGE	3,404 SF
EXISTING TREE CANOPY	2,350 SF
TOTAL CANOPY COVERAGE	5,754 SF
SITE AREA WITH NO COVERAGE	1,130 SF
PROPOSED PERCENTAGE OF SITE COVERAGE	81.10%

PLANT LIST:

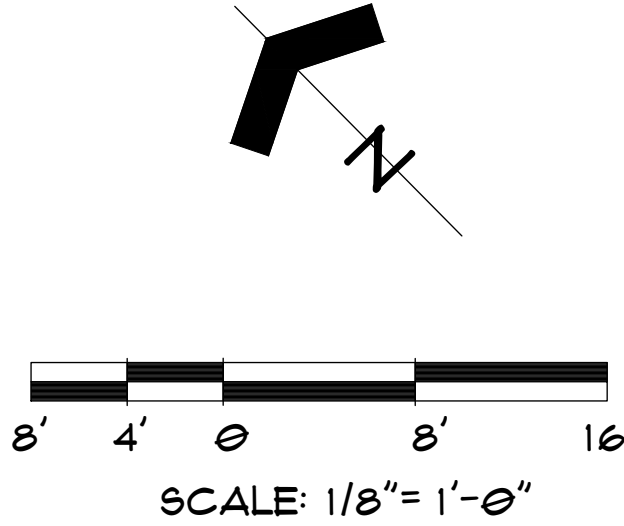
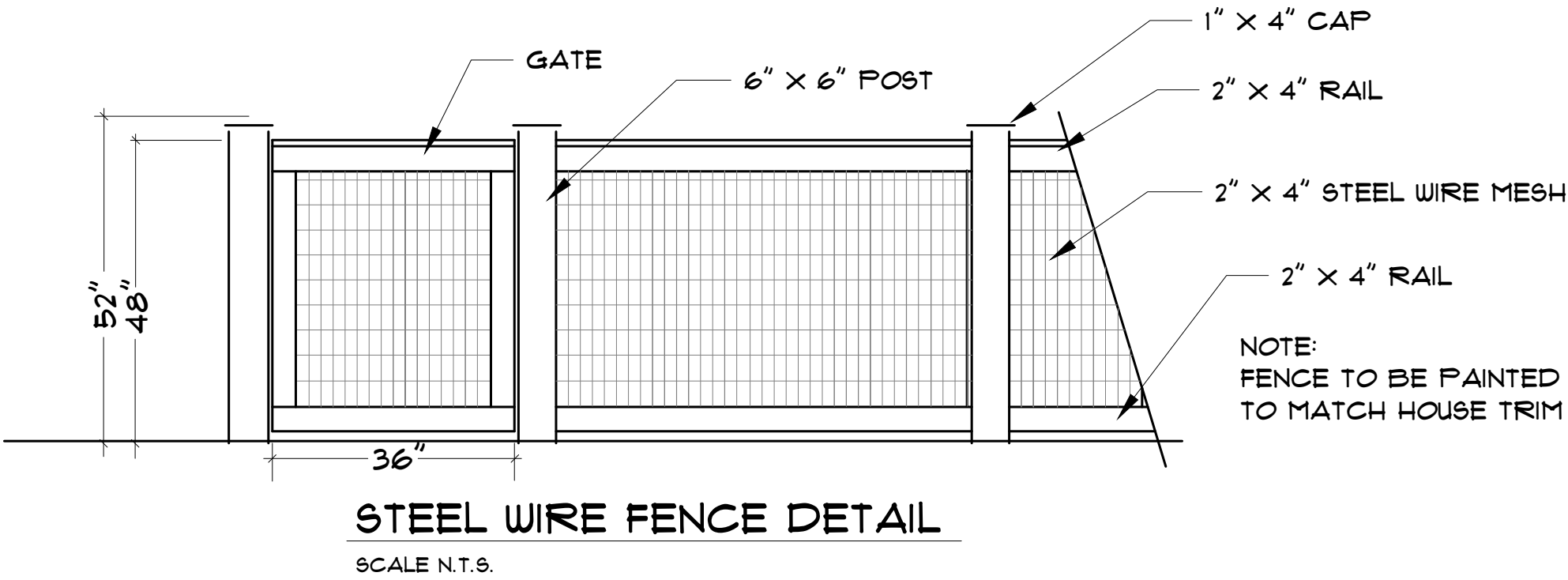
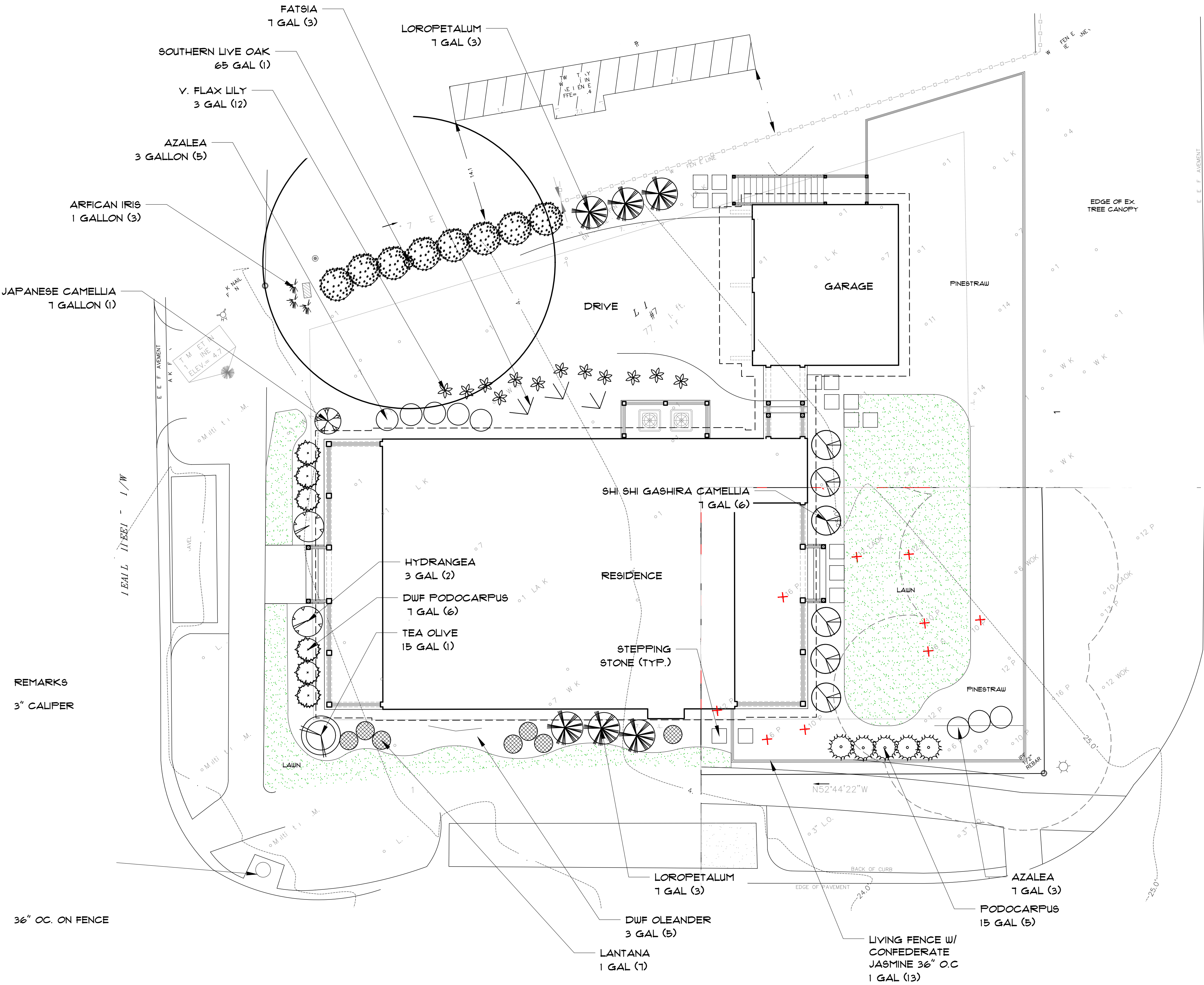
		QTY	SIZE	REMARKS
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	1	65 GAL	3" CALIPER
AZALEA FORMOSA	LAVENDER FORMOSA AZALEA	5	3 GAL	
AZALEA FORMOSA	LAVENDER FORMOSA AZALEA	3	1 GAL	
CAMELLIA JAPONICA	PINK JAPANESE CAMELLIA	1	1 GAL	
DIANELLA TASMANICA	VARIEGATED FLAX LILY	12	3 GAL	
DIETES IRIDIODES	AFRICAN IRIS	3	1 GAL	
FATSIA JAPONICA	JAPANESE ARALIA	3	1 GAL	
HYDRANGEA M. 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	2	3 GAL	
LANTANA M. 'CHAPEL HILL'	CHAPEL HILL YELLOW LANTANA	1	1 GAL	
IGUSTRUM JAPONICA	WAXLEAF IGUSTRUM	8	15 GAL	
LOROPETALUM C. 'RED CHOCOLATE'	RED CHOCOLATE LOROPETALUM	6	1 GAL	
NERIUM OLEANDER 'ICE PINK'	DWARF PINK OLEANDER	5	1 GAL	
OSMANTHUS FRAGRANS	TEA OLIVE	1	15 GAL	
PODOCARPUS M. META	META DWARF PODOCARPUS	12	1 GAL	
PODOCARPUS MACROPHYLLA	JAPANESE PLUM YEW	5	15 GAL	
TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	13	1 GAL	36" OC. ON FENCE
EMPIRE ZOYSIA SOD			1,050 SF	

NOTES:

- COVER ALL DISTURBED AREAS WITH MULCH OR FINE STRAW TO PREVENT EROSION.
- CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE FOR ALL NEWLY INSTALLED PLANT MATERIAL

Landscape Plan

#7 Pearl Street



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Rose Landscape, LLC  
25 Palmetto Beach Drive  
Bluffton, SC 29910  
phone: (843) 816-3518  
www.roselandscapes.com

Preliminary Landscape Plan  
for  
**William Glover**  
#7 Pearl Street  
Bluffton SC 29910



DRAWN BY: BGR  
DATE: 3/10/21  
SCALE: 1/8"= 1'-0"  
SHEET 1 OF 1





# PLAN REVIEW COMMENTS FOR COFA-02-21-014972

ATTACHMENT 6

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 02/09/2021  
**Plan Status:** Active **Plan Address:** 7 Pearl St Street  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 000 1201 0000  
**Plan Description:** A request Sawyer Graham and Preston Glover, on behalf of the owner, William Glover, for review of a Certificate of Appropriateness to allow the construction of a new two-story single-family residence of approximately 2,500 SF and a Carriage House of approximately 880 SF located at 7 Pearl Street, identified as Lot 20 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

**STATUS:** The Application will be heard at the March 8th HPRC Meeting.

## Staff Review (HD)

**Submission #: 1** Recieved: 02/22/2021 Completed: 03/05/2021

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	03/05/2021	Katie Peterson	Approved with Conditions

### Comments:

1. As the project moves toward Final submittal, provide a landscape plan noting foundation plantings, street trees and canopy coverage, typical window detail, chimney cap detail, a railing detail, a corner board detail, water table detail and a section through the exterior wall and eave as not enough information was provided in submittal to review these items for conformance with the UDO. Additionally, the items listed in the narrative as changes to the drawings will need to be incorporated into the final submittal plans. (Applications Manual)
2. Driveways shall be a maximum of 10 feet in width in front of the principal plane of the building. The current site plan shows the driveway wider than 10 feet in front of the principal plane and it must be reduced to meet this requirement. (UDO 5.15.7.H.)
3. There will likely be further comment once updated drawings have been submitted.

HPRC Review	03/05/2021	Katie Peterson	Approved with Conditions
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### Comments:

1. Consider the location of trash can storage when finalizing service yard details. (UDO 5.15.5.F.10)
2. Long unarticulated masses shall be avoided. The house is on a corner lot. Preference would be to choose a floorplan that wraps the corner with a porch or treats both sides as the front elevation. It is likely possible for this floorplan to work, but the applicant should study the Tabby Shell Road elevation to make it feel more polished. It may make sense to mirror the floorplan so the more public rooms – Office / Dining Room are facing Tabby to allow a better window rhythm. (UDO 5.15.5.F.2.d.)
3. For context - Would be Helpful to see Tabby Shell Elevation with proposed fence & Pearl Street Elevation in relation to 5 Pearl Street.

Beaufort Jasper Water and Sewer Review	03/05/2021	James Clardy	Approved
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### Comments:

1. No comments.

Building Safety Review	03/05/2021	Richard Spruce	Approved
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### Comments:

1. Building Safety will provide review at time of permit submittal.

Transportation Department Review - HD	03/05/2021	William Howard	Approved
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**Comments:**

ATTACHMENT 6

1. No comment.

Watershed Management Review	03/05/2021	Bridgette Noonan	Approved
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**Comments:**

1. No Comment.

Addressing Review	02/25/2021	Nick Walton	Approved
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**Comments:**

1. No comments.

**Plan Review Case Notes:**